



# Downtown Development Authority of Holly Springs

Holly Springs Public Safety Building, Council Chambers  
3235 Holly Springs Pkwy. Holly Springs, GA 30115  
Wednesday, August 20, 2025 | 6:00 PM

---

Ollie Evans - Chair | Maggie Grayeski | Andrea Johnston

Steven W. Miller | Scott Owen - Vice Chair | Ryan Smith | Kyle Whitaker

---

## AGENDA

### I. CALL TO ORDER

### II. OLD BUSINESS

- A. Certificate of Appropriateness (CA-02-2025) for the Holly Springs Town Center Parking Deck located at 189 Timothy Downing Drive, Holly Springs, GA, tax parcel 103 of tax plat 15N14.

### III. NEW BUSINESS

- A. Proposal dated July 9, 2025, from Foresite Group, LLC for Professional Design Services to Add Service #6 Town Center Hardscape/Landscape/Electrical/AV Phasing Plans as shown in Exhibit "A", in an amount not to exceed \$15,600.
- B. August 4, 2025 Downtown Development Authority of Holly Springs Meeting minutes
- C. A Loan Commitment Letter to Holly Springs Senior Housing, LLC (Borrower) extending certain loan financing to Borrower and authorize the Chairman to execute the letter upon approval of the City Attorney.

### IV. REPORTS

### V. ADJOURNMENT

# ITEM REPORT

**AGENDA ITEM NUMBER: II.A.**



**FROM:** Robert H. Logan, City Manager

**MEETING DATE:** August 20, 2025

**AGENDA ITEM:** Certificate of Appropriateness (CA-02-2025) for the Holly Springs Town Center Parking Deck located at 189 Timothy Downing Drive, Holly Springs, GA, tax parcel 103 of tax plat 15N14.

---

## **EXECUTIVE SUMMARY:**

Caldwell Cline Architects & Designers have completed the revised building plans for the Holly Springs Town Center Parking Deck. The City sent out a request for bids (RFB-2023-01) for the Holly Springs Town Center Parking Deck (Precast Concrete) on January 31, 2023. The City of Holly Springs City Council awarded the project to Tindall Corporation on March 27, 2023. Pursuant to the City of Holly Springs Commercial Corridor Design Overlay District Guidelines, adopted by the Mayor and City Council on May 15, 2016, applications for certificates of appropriateness must be presented in meetings of the Design Review Committee for consideration. The Downtown Development Authority serves as the Design Review Committee for certificate of appropriateness applications submitted within the Holly Springs Town Center District. The Holly Springs Town Center Parking Deck is within the Holly Springs Town Center District.

## **FISCAL IMPACT:**

There is no fiscal impact for a certificate of appropriateness.

## **ATTACHMENTS:**

1. Application CA-02-2025
2. parking deck

## **RECOMMENDATION:**

Staff recommends approval of the certificate of appropriateness.

**CONCURRENCES:**

Administration and Community Development.



**TOWN CENTER CERTIFICATE OF APPROPRIATENESS APPLICATION**

**Application CA-**02-2025

Hearing Date April 16, 2025

Date of Application April 8, 2025

Applicant City of Holly Springs

Owner Downtown Development Authority of Holly Springs  
(If other than Applicant)

Address 3237 Holly Springs Parkway  
Holly Springs, GA

Address P.O. Box 990  
Holly Springs, GA

Zip Code 30115 Phone 770-345-5536

Zip Code 30142 Phone 770-345-5536

Email: rlogan@hollyspringsga.us

Email: rlogan@hollyspringsga.us

Signature *Robert H Logan*

Signature *Robert H Logan*

Address/Location of Property 189 Timothy Downing Drive

Map/Parcel ID 15N14-103

Description of Project:

The proposed project is the City of Holly Springs Town Center Parking Deck.

\*\*\*\* **Attach additional sheets as needed**\*\*\*\*\*

**The following information must be attached to completed application:**

- A  Warranty Deed
- B  Tax Documentation
- C  Survey Plat by Registered Surveyor
- D  Site Development Plan by Registered Surveyor
- E  Color Renderings of Proposed/Renovated Structures with Materials/Colors List
- F  Materials Board

**Do Not Write Below Line**

**Downtown Development Authority Decision**

Approved \_\_\_\_\_

Denied \_\_\_\_\_

Stipulations \_\_\_\_\_

A

return to:

529229  
CITY OF HOLLY SPRINGS  
P.O. BOX 990  
HOLLY SPRINGS, GA 30142

**Return Recorded Document to:  
Dyer & Rusbridge, P.C.  
291 E. Main Street  
Canton, GA 30114**

---

**WARRANTY DEED**

STATE OF GEORGIA

COUNTY OF CHEROKEE

**THIS INDENTURE**, made the 24th day of September, 2018, between **City of Holly Springs, Georgia**, of the County of **Cherokee**, and State of Georgia, as party of the first part, hereinafter called Grantor, and **Downtown Development Authority of the City of Holly Springs, Georgia**, as party of the second part, hereinafter called Grantee (the words "Grantor(s)" and "Grantee(s)" to include their respective heirs, successors and assigns where the context requires or permits).

**WITNESSETH** that: Grantor, for and in consideration of the sum of **TEN AND 00/100 DOLLARS (\$10.00)** and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell alien, convey and confirm unto the said Grantee,

**ALL THAT TRACT OR PARCEL OF LAND** lying and being in Land Lots 305, 306, 343 and 344 of the 15th District, 2nd Section, in the City of Holly Springs, Cherokee County, Georgia, and being more particularly described in Exhibit "A" attached hereto and incorporated herein.

**TO HAVE AND TO HOLD** the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in **FEE SIMPLE**.

**AND THE SAID** Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

**IN WITNESS WHEREOF**, Grantor has signed and sealed this deed, the day and year first above written.

Signed, sealed, and delivered in  
the presence of:

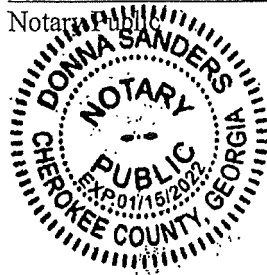
CITY OF HOLLY SPRINGS, GEORGIA

Jake Resendez  
Unofficial Witness

Steven W. Miller (SEAL)  
By: Steven W. Miller, Mayor

Donna Sanders  
Notary Public

Karen Norred (SEAL)  
Attest By: Karen Norred, City Clerk



COPY

EXHIBIT "A"

**TRACT 1:**

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 343 of the 15th District, 2nd Section, in the City of Holly Springs, Cherokee County, Georgia, being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, begin at the common corners of Land Lots 306, 307, 343 and 342; proceed thence in a westerly direction North 89° 06' 52" West a distance of 26.91 feet to an iron pin found, which is the TRUE POINT OF BEGINNING; thence South 21° 24' 32" East a distance of 71.62 feet to an iron pin found; thence South 00° 39' 34" West a distance of 118.45 feet to an iron pin set on the northern right of way of Hickory Road (variable right of way); thence along the northern right of way of Hickory Road (variable right of way) South 60° 34' 51" West a distance of 152.30 feet; running thence southwesterly along the northern right of way of Hickory Road (variable right of way) and following the curvature thereof an arc distance of 516.21 feet having a chord bearing of South 85° 29' 52" West and a chord distance of 500.09 feet with a radius of 593.50 feet; thence North 69° 35' 07" West a distance of 63.99 feet to an iron pin set; thence leaving the right of way of Hickory Road (variable right of way) North 02° 02' 28" East a distance of 275.00 feet to an iron pin found; thence North 89° 07' 39" East a distance of 397.10 feet to an iron pin found; thence South 89° 06' 52" East a distance of 259.57 feet to an iron pin found and the TRUE POINT OF BEGINNING.

Said tract being 4.674 acres as more particularly shown on survey for City of Holly Springs Downtown Development Authority dated April 14, 2009, prepared by Charles C. Franklin, GRLS. This being the property conveyed to the City of Holly Springs, Georgia by deed recorded in Deed Book 12745, Page 433, Cherokee County, Georgia Deed Records.

**TRACT 2:**

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 343 of the 15th District, 2nd Section, in the City of Holly Springs, Cherokee County, Georgia, being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, begin at the common corners of Land Lots 306, 307, 343, and 342; proceed thence in a westerly direction North 89° 06' 52" West a distance of 26.91 feet to an iron pin found; thence South 21° 24' 32" East a distance of 71.62 feet to an iron pin found; thence South 00° 39' 34" West a distance of 118.45 feet to an iron pin set on the northern right of way of Hickory Road (variable right of way); thence South 00° 39' 34" West a distance of 59.77 feet to an iron pin found on the southern right of way of Hickory Road (variable right of way) which is the TRUE POINT OF BEGINNING; thence South 00° 49' 44" West a distance of 726.06 feet to an iron pin found; thence North 67° 37' 09" West a distance of 598.81 feet to an iron pin found; thence North 13° 59' 42" East a distance of 323.09 feet to an iron pin found on the southern right of way of Hickory Road (variable right of way) and following the curvature thereof an arc distance of

196.67 feet having a chord bearing of North 83° 17' 47" East and chord distance of 191.85 feet with a radius of 255.60 feet; thence continuing along the southern right of way of Hickory Road (variable right of way) North 61° 15' 30" East a distance of 337.10 feet to an iron pin found and the TRUE POINT OF BEGINNING.

Said tract being 5.891 acres as more particularly shown on survey for City of Holly Springs Downtown Development Authority dated April 14, 2009, prepared by Charles C. Franklin, GRLS. This being the property conveyed to the City of Holly Springs, Georgia by deed recorded in Deed Book 12745, Page 433, Cherokee County, Georgia Deed Records.

**TRACT 3:**

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 343, 15<sup>th</sup> District, 2<sup>nd</sup> Section of Cherokee County, Georgia, being a 0.63 acre tract as shown on plat of survey for Ronald H. Dunn and Ruby Nell Dunn prepared by Adams-Sims & Associates, Inc. dated May 23, 1989 and being recorded in Plat Book 37, Page 143, Cherokee County, Georgia Records. This being the property conveyed to the City of Holly Springs, Georgia in Deed Book 12155, Page 489, Cherokee County, Georgia Records.

**TRACT 4:**

All that tract or parcel of land lying and being in Land Lot 343 of the 15<sup>th</sup> District, 2<sup>nd</sup> Section, Cherokee County, Georgia, and being more particularly described as follows:  
Beginning at the intersection of the southern right of way of Hickory Rd. and the western right of way of Palm Street; thence along the right of way of Palm Street South 05°51'39" East 47.92 feet; thence continuing along the right of way of Palm Street South 09°24'48" East 21.51 feet; thence continuing along the right of way of Palm Street South 12°35'15" East 50.65 feet; thence continuing along the right of way of Palm Street South 15°04'05" East 14.96 feet; thence leaving the right of way North 85°27'35" West 77.73 feet; thence along a curve having a 1320.39' foot radius, with an arc length of 33.31 feet, being subtended by a chord of South 14°07'57" West for a distance of 33.31 feet; thence South 84°43'57" West for a distance of 33.73 feet; thence along a curve to the left having a 1352.39' radius, with an arc length of 60.00 feet, being subtended by a chord of South 11°40'52" West for a distance of 60 feet; thence South 79°35'24" East 7.30 feet; thence South 08°38'26" West a distance of 80.79 feet; thence North 81°21'34" West a distance of 22.80 feet to a point on the east right of way of the L&N Railroad; thence northerly along the east right of way of the L&N Railroad to the intersection with the southerly right of way of Hickory Rd.; thence easterly along the southerly right of way of Hickory Rd. to its intersection with the westerly right of way of Palm St. which is the True Point of Beginning.

This being the same property conveyed to the City of Holly Springs, Georgia in Deed Book 6968, Page 154, Cherokee County, Georgia Deed Records.

**TRACT 5:**

All that tract or parcel of land lying and being in Land Lot 343 of the 15th District, 2nd Section, Cherokee County, Georgia and being more particularly described as follows:

To find the Point of Beginning, start at the intersection of the west right of way of Palm Street (40' R/W) and the south line of Land Lot 343; thence running northerly along the west right of way of Palm Street 660.95 feet to a point on the west right of way of Palm Street, which is the Point of Beginning; thence leaving the said right of way South 61°55'38" West a distance of 261.35 feet; thence South 01°41'36" West a distance of 96.99 feet; thence South 01°42'29" West a distance of 209.36 feet to a point on the easterly right of way of the L&N Railroad (100' R/W) thence continuing along the railroad right of way North 05°12'18" West a distance of 288.05 feet; thence continuing along the railroad right of way North 04°49'50" West a distance of 29.50 feet; thence continuing along the railroad right of way along an arc distance of 265.35 feet (chord bearing North 00°21'01" East, chord distance of 264.98 feet, and radius of 1,439.24 feet); thence leaving the railroad right of way South 82°33'37" East a distance of 23.28 feet; thence North 07°34'52" East a distance of 80.67 feet; thence South 80°36'24" East a distance of 7.45 feet; thence along an arc distance of 60.00 feet (chord bearing North 10°31'24" East, chord distance of 59.99 feet, and radius of 1,352.39 feet); thence North 83°38'06" East a distance of 33.77 feet; thence along an arc distance of 33.16 feet (chord bearing North 13°15'26" East, chord distance of 33.16 feet, and radius of 1,320.39 feet); thence South 86°42'39" East a distance of 77.51 feet to a point on the west right of way of Palm Street; thence along the west right of way of Palm Street an arc distance of 332.51 feet (chord bearing South 16°48'07" East, chord distance of 332.51 feet, and radius of 21,193.25 feet) to the Point of Beginning.

Said tract being 2.032 acres as shown on a boundary survey prepared for City of Holly Springs by Gunnin Land Surveying, Inc. dated December 12, 2015. This being the same property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 13741, Page 76, Cherokee County, Georgia Records.

**TRACT 6:**

All that tract or parcel of land lying and being in Land Lot 344 of the 15<sup>th</sup> District, 2<sup>nd</sup> Section of Cherokee County, Georgia, and being business lots Nos. 1, 2, and 3 in the Town of Holly Springs, and originally fronting on the L&N Railroad and running back to the new Highway No. 5 (now the front) and each lot being 26 feet along the front and 80 feet deep, and having thereon a garage and brick filling station, total frontage being 78 feet on Highway No. 5.

This being the same property conveyed to the City of Holly Springs, Georgia by deed recorded in Deed Book 9001, Page 460, Cherokee County, Georgia Records.

**TRACT 7:**

All that tract or parcel of land lying and being in Land Lots 306 and 343 of the 15th District, 2nd Section of Cherokee County, Georgia, being in the City of Holly Springs and more particularly described as follows:

BEGINNING at an iron pin located at the intersection of the southwesterly right of way of Jackson Street (having a 40-foot right of way) with the easterly right of way of Holly Springs Parkway (f/k/a Georgia Hwy. No. 5, having an 80 foot right of way); thence running South 31 degrees 43 minutes 30 seconds East as measured along the southwesterly right of way of Jackson Street for a distance of 109.63 feet to a #4 rebar found and corner; thence leaving said right of way and running thence South 81 degrees 00 minutes 00 seconds West for a distance of 46.00 feet to a #4 rebar found and corner located on the easterly right of way of Holly Springs Parkway; thence running North 05 degrees 49 minutes 45 seconds West as measured along the easterly right of way of Holly Springs Parkway for a distance of 58.69 feet to a point; thence continuing along the easterly right of way of Holly Springs Parkway North 08 degrees 27 minutes 30 seconds West for a distance of 42.52 feet to an iron pin located at the intersection of the southwesterly right of way of Jackson Street with the easterly right of way of Holly Springs Parkway, which is the POINT OF BEGINNING. Said tract being shown on a plat of survey prepared for William E. Parker, dated February 13, 1989, prepared by Martin & Norton, Inc.

This being the same property conveyed to the City of Holly Springs, Georgia by deed recorded in Deed Book 7529, Page 75, Cherokee County, Georgia Records.

**TRACT 8:**

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lots 306 and 343 of the 15<sup>th</sup> District, 2<sup>nd</sup> Section, Cherokee County, Georgia, as shown on a plat made by Jerry Thacker and Associates, dated August 30, 1977, and revised on March 21, 1996, and being more particularly described as follows:

BEGINNING at a point at the intersection of the westerly right of way of Jackson Street (having a 40-foot right of way) and the northerly right of way of Holly Street (having a 20-foot right of way); from this POINT OF BEGINNING running thence North 81° 50' West a distance of 76.44 feet to an iron pin placed; thence running North 15° 37' 51" East a distance of 108.56 feet to an iron pin placed on the southwesterly right of way of Jackson Street; running thence South 30° 14' East along the southwesterly right of way of Jackson Street a distance of 90.06 feet to a point; running thence South 01° 37' East a distance of 37.6 feet to the TRUE POINT OF BEGINNING.

Subject to that certain easement reserved in the Warranty Deed recorded at Deed Book 2349, Page 104, Cherokee County, Georgia records.

This being the same property conveyed to the City of Holly Springs, Georgia by deed recorded in Deed Book 10392, Page 241, Cherokee County, Georgia Deed Records.

**TRACT 9:**

All that tract or parcel of land lying and being in Land Lots 306 and 343 of the 15<sup>th</sup> District, 2<sup>nd</sup> Section of Cherokee County, Georgia and being the property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 12791, Page 244, Cherokee County, Georgia Records.

**TRACT 10:**

All that tract or parcel of land lying and being in Land Lot 343 of the 15<sup>th</sup> District, 2<sup>nd</sup> Section of Cherokee County, Georgia and being the property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 12774, Page 288, Cherokee County, Georgia Records.

**TRACT 11:**

All that tract or parcel of land lying and being in Land Lot 343 of the 15<sup>th</sup> District, 2<sup>nd</sup> Section of Cherokee County, Georgia and being the property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 12774, Page 291, Cherokee County, Georgia Records.

**TRACT 12:**

All that tract or parcel of land lying and being in the 15<sup>th</sup> District, 2<sup>nd</sup> Section of Cherokee County, Georgia and being the property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 5298, Page 485, Cherokee County, Georgia Records.

**TRACT 13:**

All that tract or parcel of land lying and being in the 15<sup>th</sup> District, 2<sup>nd</sup> Section of Cherokee County, Georgia and being the property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 3005, Page 277, Cherokee County, Georgia Records.

**TRACT 14:**

All that tract or parcel of land lying and being in the 15<sup>th</sup> District and 2<sup>nd</sup> Section, Cherokee County, Georgia, lying and being in the Town of Holly Springs, Georgia, and known as Town Lot No. 4; bounded on the east by L&N Railroad Street; on the north by N.P. Vaughn Garage; on the west by Marietta-Canton Highway; and on the south by J.F. Ragsdale brick store. This tract being 18 feet wide and containing one store building. This being the same property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 5111, Page 342, Cherokee County, Georgia Records.

PT-61 (Rev. 2/18)

To be filed in **CHEROKEE COUNTY**

PT-61 028-2018-010834

SECTION A - SELLER'S INFORMATION (Do not use agent's Information)				SECTION C - TAX COMPUTATION	
SELLER'S BUSINESS / ORGANIZATION / OTHER NAME City of Holly Springs				Exempt Code If no exempt code enter NONE	Govt/NonProfit Public Corp
MAILING ADDRESS (STREET & NUMBER) P.O. Box 990				1. Actual Value of consideration received by seller Complete Line 1A if actual value unknown	\$0.00
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY Holly Springs, GA 30142 USA		DATE OF SALE 9/24/2018		1A. Estimated fair market value of Real and Personal property	\$3,481,500.00
SECTION B - BUYER'S INFORMATION (Do not use agent's information)				2. Fair market value of Personal Property only	\$0.00
BUYER'S BUSINESS / ORGANIZATION / OTHER NAME Downtown Development Authority of the City of Holly Sprin ...*				3. Amount of liens and encumbrances not removed by transfer	\$0.00
MAILING ADDRESS (Must use buyer's address for tax billing & notice purposes) P.O. Box 990				4. Net Taxable Value (Line 1 or 1A less Lines 2 and 3)	\$0.00
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY Holly Springs, GA 30142 USA		Check Buyers Intended Use ( ) Residential (x) Commercial ( ) Agricultural ( ) Industrial		5. TAX DUE at .10 per \$100 or fraction thereof (Minimum \$1.00)	\$0.00
SECTION D - PROPERTY INFORMATION (Location of Property (Street, Route, Hwy, etc))					
HOUSE NUMBER & EXTENSION (ex 265A)		PRE-DIRECTION, STREET NAME AND TYPE, POST DIRECTION			SUITE NUMBER
COUNTY CHEROKEE		CITY (IF APPLICABLE) Holly Springs		MAP & PARCEL NUMBER 93N00 005,009,010,014,014B, ...*	ACCOUNT NUMBER
TAX DISTRICT Cherokee	GMD	LAND DISTRICT 15,	ACRES 20.62	LAND LOT 306, 307,343,3 ...*	SUB LOT & BLOCK
SECTION E - RECORDING INFORMATION (Official Use Only)					
DATE	DEED BOOK	DEED PAGE	PLAT BOOK	PLAT PAGE	

ADDITIONAL BUYERS  
None

...\* This symbol signifies that the data was too big for the field. The original values are shown below.  
 MAP & PARCEL NUMBER: 93N00 005,009,010,014,014B,038,038A, 040, etc  
 LAND LOT: 306, 307,343,342,344  
 BUYER'S BUSINESS NAME: Downtown Development Authority of the City of Holly Springs, Georgia

COPY

B

CITY OF HOLLY SPRINGS  
PO BOX 990  
HOLLY SPRINGS, GA 30142-0990  
(770)345-5536



2024 PROPERTY TAX

PROPERTY INFORMATION

MAP/PARCEL/LOT: 15N14- 103  
OWNER NAME: HOLLY SPRINGS DOWNTOWN  
LOCATION: 101 PALM ST  
BILLING DATE: 04/03/25  
DUE DATE: 12/20/24  
LEGAL DESCRIPTION: LL 306; 15TH D/TRACT 1PB 80 PG 47

AMOUNT DUE

PAST DUE: 0.00  
CURRENT CHARGES: 0.00  
PENALTY: 0.00  
TOTAL DUE: 0.00

PROPERTY VALUE ASSESSMENTS

FAIR MARKET LAND VALUE: 0  
FAIR MARKET IMPROVEMENT VALUE: 2,798,200  
IMPROVEMENT VALUE: 1,119,280  
CITY TAX NET VALUE: 0  
FIRE TAX NET VALUE: 0

EXEMPTIONS

City Tax 100% Exempt 1,119,280  
Fire Tax 100% Exempt 1,119,280

CURRENT CHARGES DETAIL

DESCRIPTION	UNITS	RATE	AMOUNT
Real Prop City Tax	1.00	4.000000	0.00
Real Prop Fire Tax	1.00	2.888000	0.00

SPECIAL MESSAGE

If you have sold this property, forward the bill to the new owner and fax a copy of the settlement statement to 770-345-0209. If you have an escrow, forward the tax bill to your mortgage company as soon as possible.

Pursuant to state law (O.C.G.A. 48-2-40) interest will be added to this bill monthly if the balance is not paid by the due date. Pursuant to state law (O.C.G.A. 48-2-44) penalties will also be added to the unpaid balance beginning 120 days after the due date.

Please see our website, [www.hollyspringsga.us](http://www.hollyspringsga.us), regarding senior exemption qualifications. Questions regarding county exemptions, assessments or the fair market value of your property should be directed to the Cherokee County Assessor's office at 678-493-6120.

PAYMENT COUPON - PLEASE DETACH AND RETURN THIS PORTION ALONG WITH YOUR PAYMENT

ACCOUNT INFORMATION

MAP/PARCEL/LOT: 15N14- 103 ACCOUNT ID: 6618  
LOCATION: 101 PALM ST  
TAX YEAR: 2024

AMOUNT DUE

CURRENT DUE: 0.00  
PENALTY: 0.00  
TOTAL DUE: 0.00



HOLLY SPRINGS DOWNTOWN  
DEVELOPMENT AUTHORITY  
100 HICKORY CIRCLE  
CANTON, GA 30114

AMOUNT ENCLOSED

MAKE CHECKS PAYABLE TO:

CITY OF HOLLY SPRINGS  
PO BOX 990  
HOLLY SPRINGS, GA 30142-0990

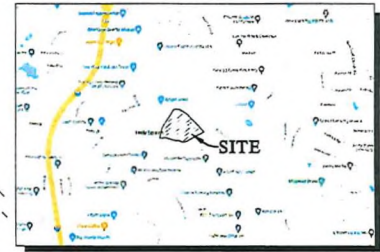




THIS PLAN WAS PREPARED BASED ON EXISTING INFORMATION PROVIDED TO ROBERTSON LOIA ROOF, PC BY OTHERS, AND NO IMPLIED ACCURACY OF SUITABILITY OF EXISTING DATA IS GIVEN (EXPRESSED OR IMPLIED) BY ROBERTSON LOIA ROOF, PC. CONDITIONS AT THE TIME OF PERMIT AND CONSTRUCTION DOCUMENT PREPARATION MAY BE DIFFERENT OR MAY HAVE CHANGED AND SHOULD BE CONFIRMED BY PROCUREMENT OF A SITE FIELD-RUN SURVEY.

THE LAYOUT OF THE PLAN DEPICTED HEREIN RELIES UPON THE LAYOUT PREFERENCES DICTATED BY THE CLIENT. SOME OF THE LAYOUT PREFERENCES MAY NOT BE COMPATIBLE WITH THE LOCAL COUNTY, STATE OR OTHER APPLICABLE JURISDICTIONAL AUTHORITIES. THE POSSIBILITY OF OBTAINING PERMITS SHOULD NOT BE RELIED UPON SOLELY BASED ON THE DEPICTION WITHIN THIS PRELIMINARY CONCEPT PLAN.

THIS PLAN IS A PRELIMINARY CONCEPT PLAN AND SHOULD NOT BE USED FOR ZONING SUBMITTALS NOR PERMIT SUBMITTALS. IT SHOULD NOT BE USED BY ANY CONTRACTOR OR SUBCONTRACTOR FOR CONSTRUCTION PURPOSES. THIS PLAN WAS PREPARED FOR OUR CLIENT AND SHOULD NOT BE USED BY ANYONE OTHER THAN THE CLIENT FOR ANY PURPOSE.



VICINITY MAP

SCALE: NONE

**ROBERTSON LOIA ROOF**  
ARCHITECTS & ENGINEERS  
2400 Peachtree Road, Suite 275 - Alpharetta, GA, 30005  
404.477.0000 FAX: 404.477.0024

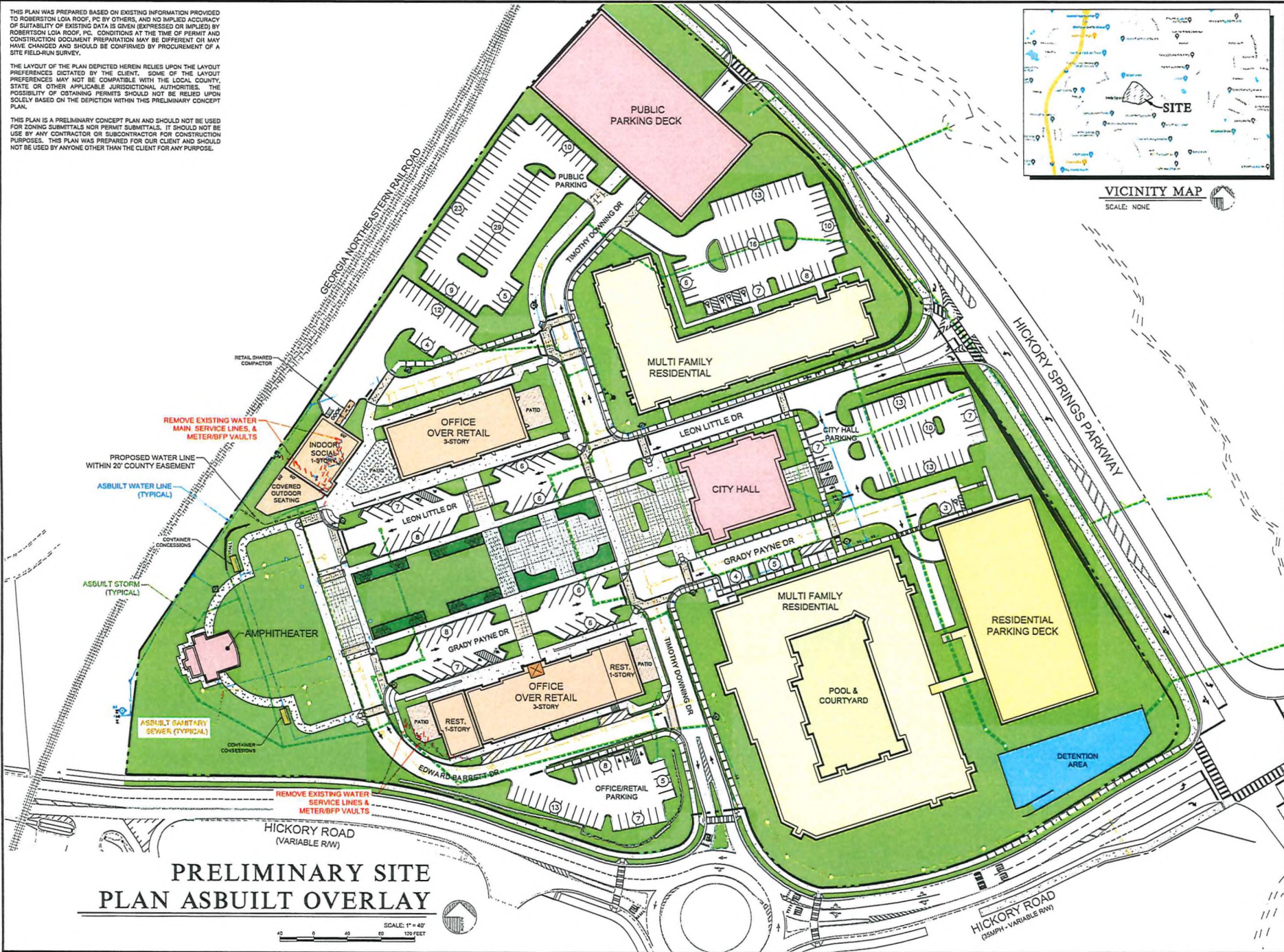
HOLLY SPRINGS TOWN CENTER  
HICKORY ROAD & BETTY BARRETT WAY  
HOLLY SPRINGS, GEORGIA  
CONNOLLY REALTY  
5000 PEACHTREE BLVD, SUITE 310  
ATLANTA, GEORGIA

ASBUILT OVERLAY  
EXHIBIT (CFS-9)

03/03/2025

23193

EX-1



**PRELIMINARY SITE PLAN ASBUILT OVERLAY**

SCALE: 1" = 40'  
120 FEET



ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF ROBERTSON LOIA ROOF, PC. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ROBERTSON LOIA ROOF, PC.



• — NORTHWEST ELEVATION — •

E



**GENERAL NOTES**

1 REFER TO STRUCTURAL DRAWINGS FOR ALL SPECIFICATIONS AND DETAILS  
 - CALDWELL CLINE ARCHITECTS DRAWINGS ARE FOR EXTERIOR FINISH MATERIALS ONLY

1 REFER TO PRE-CAST DRAWINGS FOR ALL STAIR SPECIFICATIONS  
 - CALDWELL CLINE ARCHITECTS TO PROVIDE STAIR/RAILING DETAILS  
 - PRE-CAST DRAWINGS CHECKED & VERIFIED FOR EGRESS COMPLIANCE

**PROJECT DATA**

BUILDING CODE 2018 EDITION INTERNATIONAL BUILDING CODE  
 NEW CONSTRUCTION - PROPOSED 4- LEVEL PARKING DECK ( OPEN )  
 CONSTRUCTION TYPE II-A NOT SPRINKLERED

**OCCUPANCY**

STORAGE S-2 LOW  
 PARKING GARAGE OPEN

**ACCESSORY OCCUPANCIES**

STORAGE ROOMS



PROJECT

HOLLY SPRINGS  
 PARKING DECK  
 HOLLY SPRINGS, GEORGIA 30142

**AREA SUMMARY**

STORY NO	BUILDING AREA PER STORY / LEVEL ( ACTUAL )	ALLOWABLE AREA OR UNLIMITED*	MAXIMUM BUILDING AREA*
LEVEL 1	28 500	50 000	
LEVEL 2	28 500	50 000	
LEVEL 3	28 500	50 000	
LEVEL 4	21 300	50 000	
TOTAL	106 800		200 000

**PROJECT LOCATION / CONTACT**

HOLLY SPRINGS TOWN CENTER  
 HOLLY SPRINGS GEORGIA 30115

**INDEX OF DRAWINGS**

A0 COVER SHEET

**ARCHITECTURAL**

- A11 P1 - PLAN LAYOUT
- A12 P2 - PLAN LAYOUT
- A13 P3 - PLAN LAYOUT
- A14 P4 - PLAN LAYOUT
- A21 SOUTH/NORTH ELEVATIONS
- A22 EAST/WEST ELEVATIONS
- A23 STAIR TOWER A" SOUTH/EAST ELEVATIONS / DETAILS
- A24 STAIR TOWER B" WEST/SOUTH ELEVATIONS / DETAILS
- A31 STAIR TOWER A" PLANS
- A32 STAIR TOWER B" PLANS
- NFPA 01 ADA STANDARDS
- NFPA 02 ADA STANDARDS

**SCOPE OF WORK**

1 Proposed 4 Level Open Parking Deck

**PLAN REVISIONS**



**BUILDING HEIGHT**

	ALLOWABLE (TABLE 406.5.4)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
TYPE OF CONSTRUCTION	TYPE IIA	TYPE IIA		
BUILDING HEIGHT IN FEET	10 TIERS	FEET+ H + 20 =	57 -7"	TABLE 406.5.4
BUILDING HEIGHT IN STORIES	10 TIERS	STORIES + 1 =	4 TIERS	TABLE 406.5.4

**CODES & STANDARDS**

- 2018 - (IBC) International Building Code with 2020 Amendments
- 2018 - (IRC) International Residential Code with 2020 IRC Amendments
- 2018 - International Fire Code
- 2018 - International Plumbing Code with 2020 Amendments
- 2018 - International Mechanical Code with 2020 Amendments
- 2018 - International Fuel Gas Code with 2020 Amendments
- 2017 - (NEC) National Electric Code
- 2015 - (IECC) International Energy Conservation Code with 2020 Georgia Supplements and Amendments
- 2018 - International Swimming Pool and Spa Code with 2020 Georgia Amendments
- 2018 - NFPA 101 Life Safety Code

**PROJECT TEAM**

**Architect**  
 Caldwell Cline Architects  
 222 Crescent Circle  
 Marietta Georgia 30064  
 (770) 424-3882  
 Contact Roger Caldwell  
 roger@caldwellcline.com

**Civil Engineer**  
 Southeastern Engineering Inc.  
 Contact Kevin Clark  
 tel (770) 321-3936  
 kclark@seengineering.com

**Electrical - Fire Alarm  
 Mechanical - Sprinkler-Standpipe**  
 Newcomb & Boyd  
 Contact Matt Eason  
 tel (404) 730 8555  
 MEason@newcomb-boyd.com

**Structural - Retaining Walls**  
 Kimley - Horn  
 Contact Jason Manners  
 tel (404) 900-7012  
 Jason.Manners@kimley-horn.com

**Authorized Agent**  
 Charles D Heiser Jr  
 625 W Crossville Rd #204  
 Roswell Georgia 30075  
 (678) 426-5300  
 cheiserjr@stonecresthomesga.com



**CALDWELL • CLINE**  
 ARCHITECTS • DESIGNERS

222 Crescent Circle Marietta GA 30064  
 Phone 770 424 3882 Fax 770 424 3377  
 www.caldwellcline.com

The owner or the owner's design architect is responsible for the accuracy of the information provided on this plan. It is the responsibility of the architect to verify the accuracy of the information provided.

1) Contractor shall verify all dimensions prior to providing any materials.

2) Contractor shall verify all dimensions with the owner prior to providing any materials.

3) The owner shall verify all dimensions with the owner prior to providing any materials.

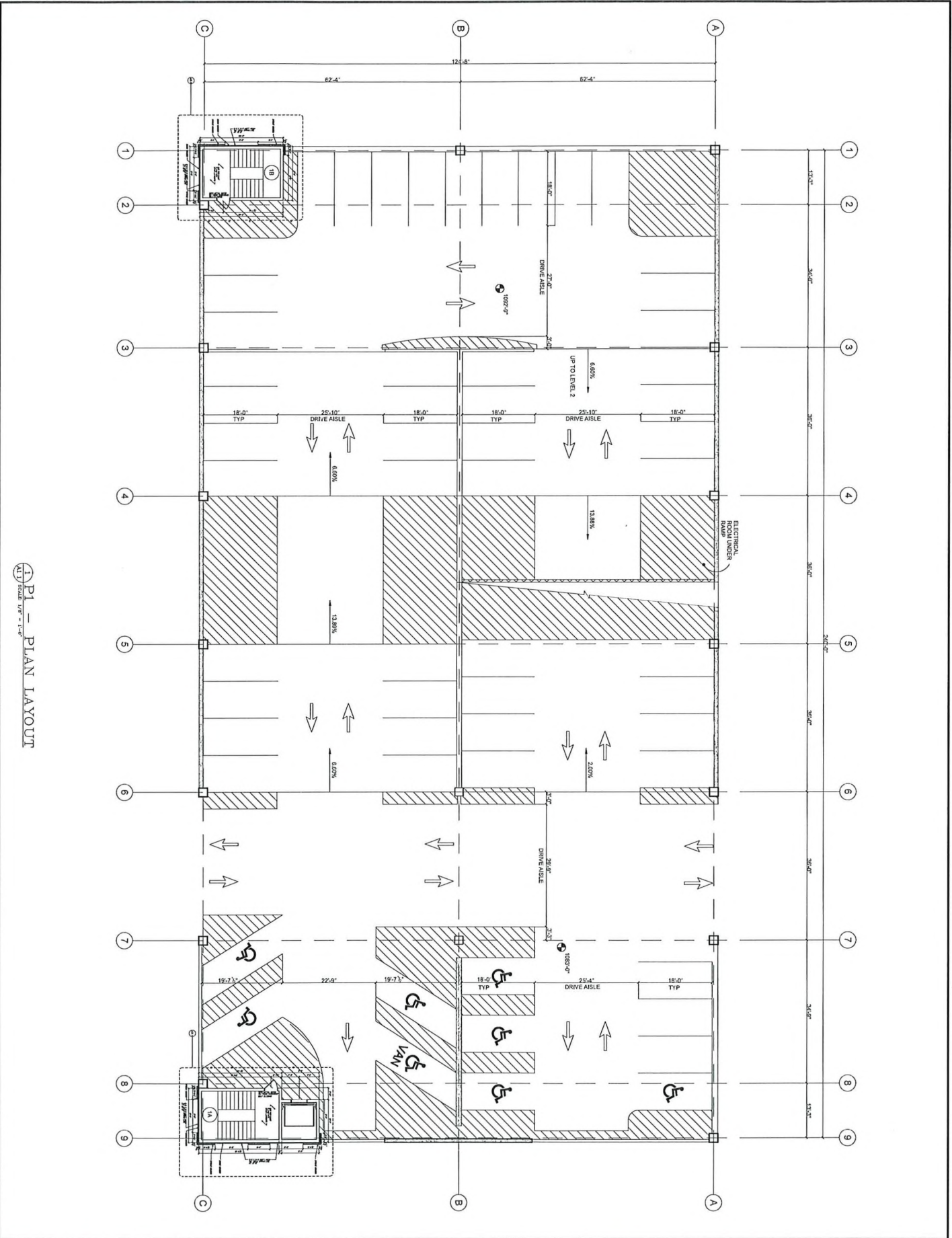
All material or construction to be provided shall comply with the applicable code requirements.

© Caldwell Cline Architects Inc.

DATE	PROJECT NUMBER
01-10-24	220105
DESIGN BY	JLC
CHECKED BY	



ISSUED FOR PERMIT  
 COVER SHEET  
 SHEET  
 A0



P1 - PLAN LAYOUT

ISSUED FOR  
PROJECT  
A1.1

01-10-24  
JLS  
CADD

017826701

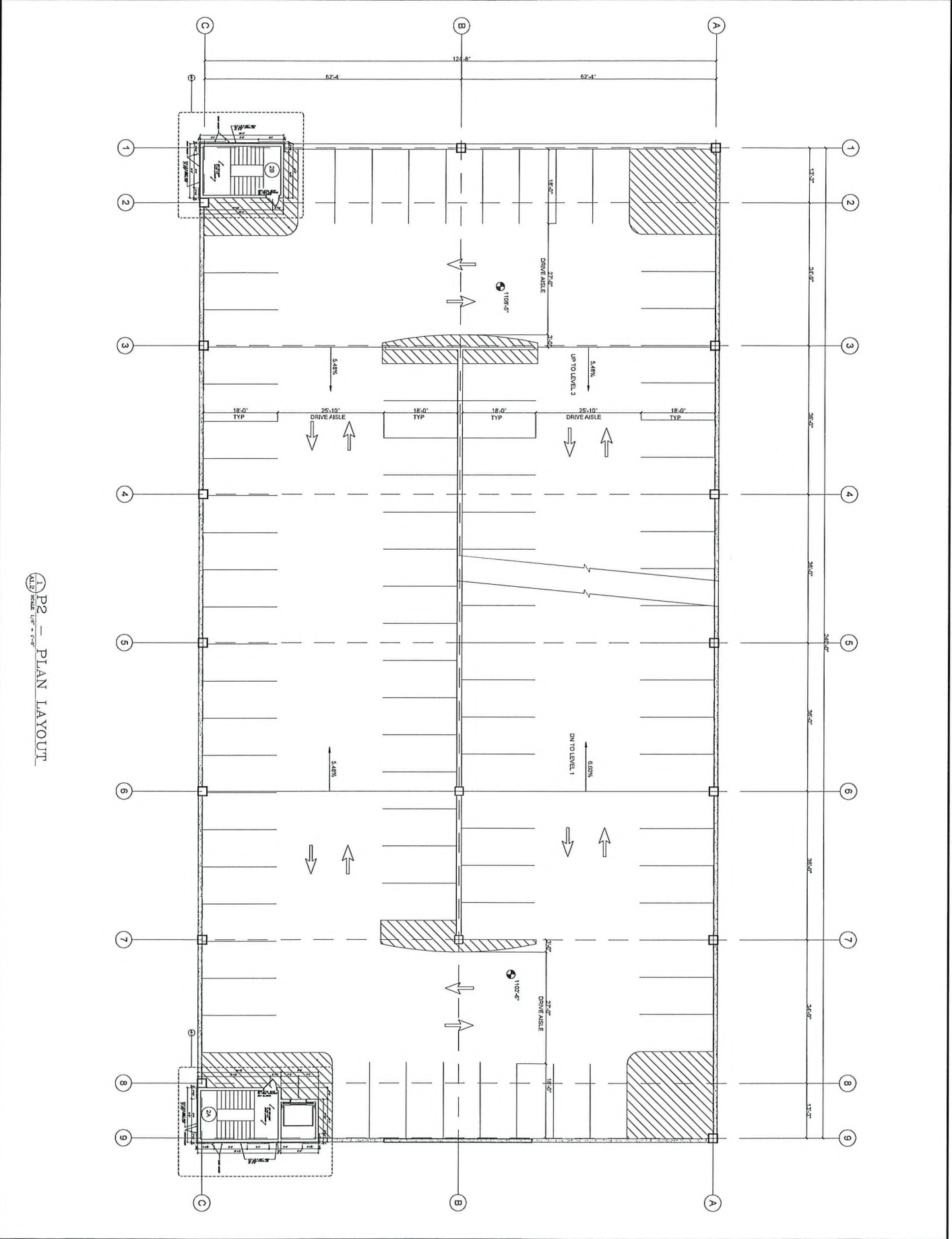
**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS

222 Crescent Circle - Marietta, GA 30064  
Phone 770-424-3882 - Fax 770-424-2377  
www.caldwellcline.com



**HOLLY SPRINGS**  
PARKING DECK  
HOLLY SPRINGS, GEORGIA 30142

PROJECT



P2 - PLAN LAYOUT  
 SCALE: 1/8" = 1'-0"

ISSUED FOR PERMIT  
 PROJECT: AT.2

DATE	DESCRIPTION
01-10-14	PROJECT INITIATION
01-10-14	2503103
01-10-14	EXTENSION
DATE	REVISION

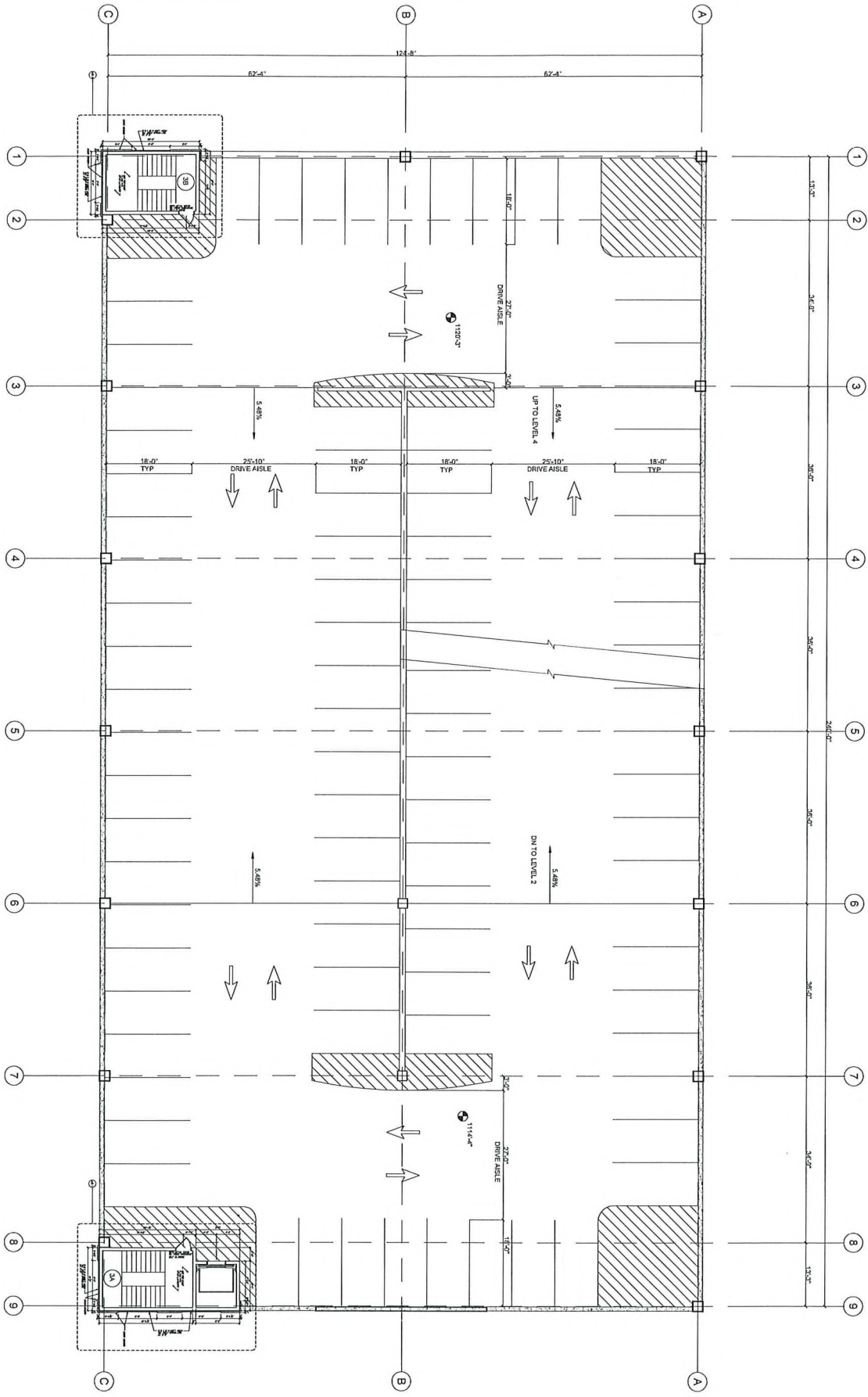
**CALDWELL • CLINE**  
 ARCHITECTS • DESIGNERS

222 Crescent Circle - Marietta, GA 30064  
 Phone 770-424-3882 - Fax 770-424-2377  
 www.caldwellcline.com



PROJECT

**HOLLY SPRINGS**  
**PARKING DECK**  
 HOLLY SPRINGS, GEORGIA 30142



P3 - PLAN LAYOUT  
 SCALE: 1/8" = 1'-0"

ISSUED FOR PERMIT  
 DATE: 01-10-24  
 AT 3

PROJECT SHEET  
 DATE: 01-10-24  
 SHEET NO.: 220105  
 DRAWN BY: JLC  
 CHECKED BY: [Blank]

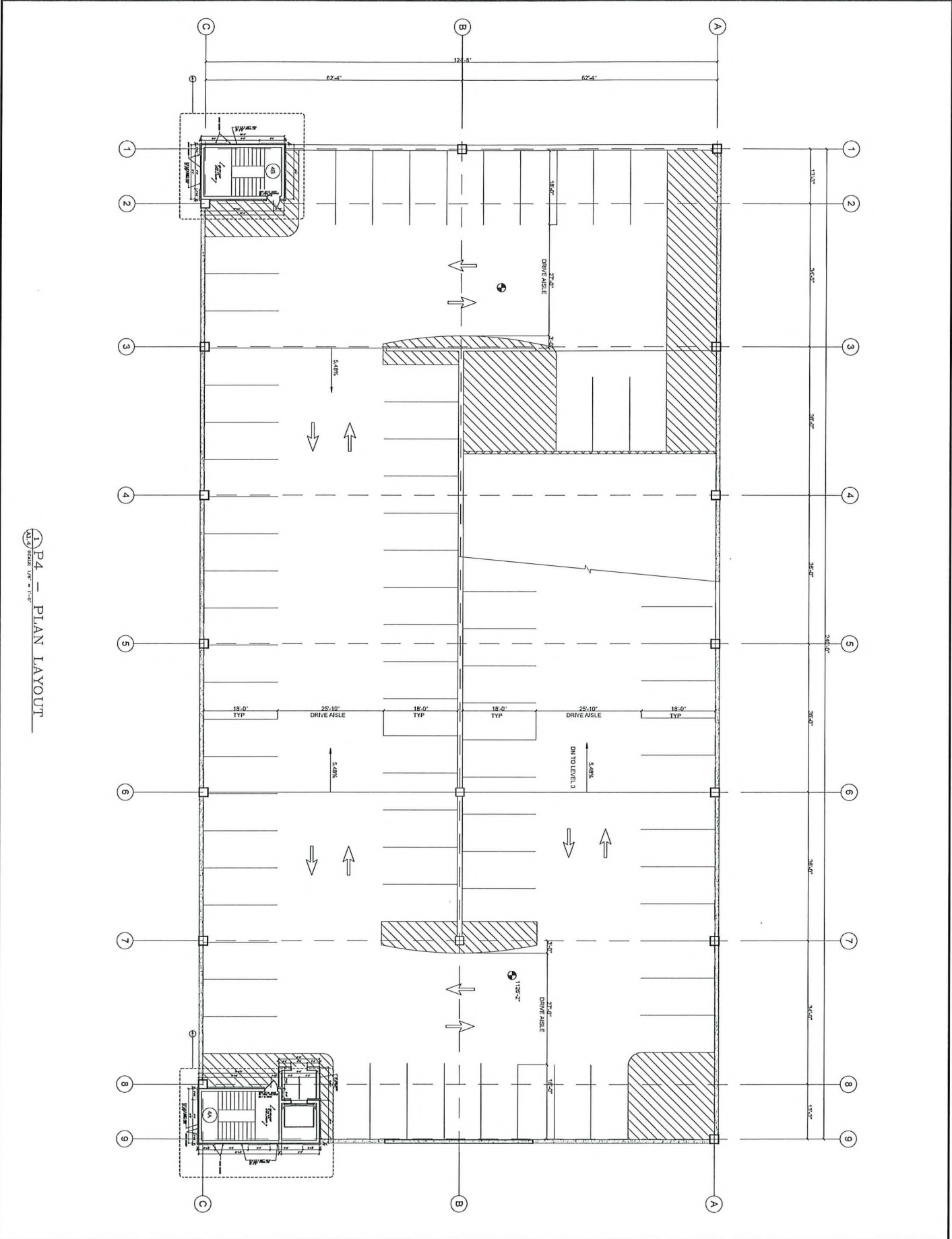
**CALDWELL • CLINE**  
 ARCHITECTS • DESIGNERS

222 Crescent Circle - Marietta, GA 30064  
 Phone: 770-424-3882 - Fax: 770-424-2377  
 www.caldwellcline.com



**HOLLY SPRINGS**  
 PARKING DECK  
 HOLLY SPRINGS, GEORGIA 30142

PROJECT



P4 - PLAN LAYOUT  
A1.4

ISSUED FOR PROJECT  
A1.4

01-10-24  
JTC  
THOMAS R. HUNT  
5283183

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS

222 Crescent Circle - Marietta, GA 30064  
Phone 770-424-3882 - Fax 770-424-2377  
www.caldwellcline.com



**HOLLY SPRINGS**  
PARKING DECK  
HOLLY SPRINGS, GEORGIA 30142

PROJECT

PROJECT

HOLLY SPRINGS  
PARKING DECK  
HOLLY SPRINGS, GEORGIA 30142



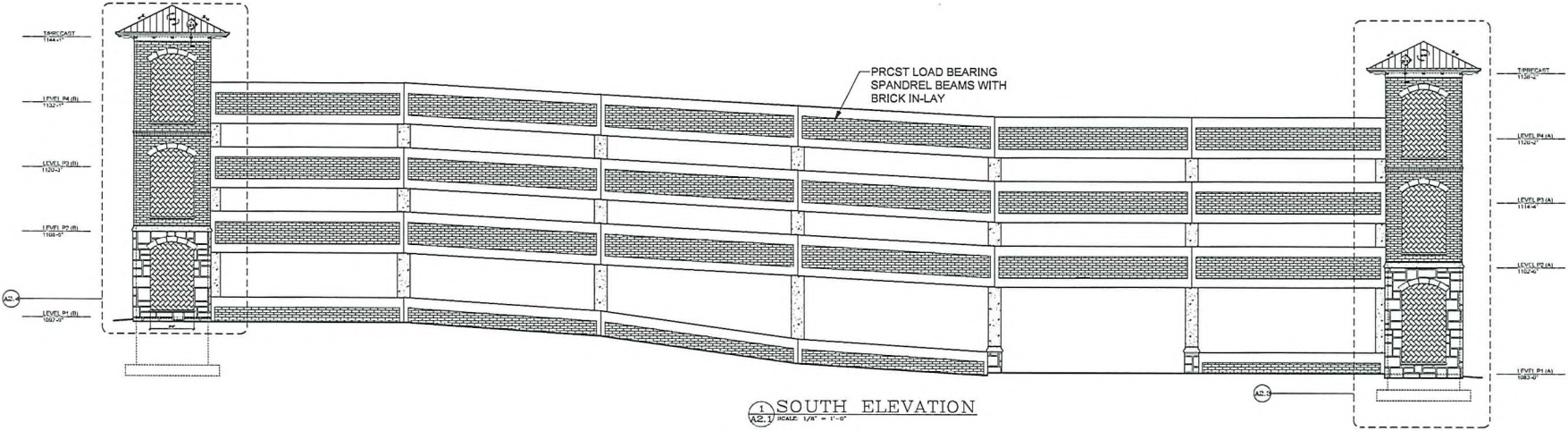
**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS  
222 CARRIAGE CLIFFS - MARIETTA, GA 30064  
PHONE 770-424-3882 - FAX 770-444-2377  
WWW.CALDWELLCLINE.COM

The drawings are the property of Caldwell-Cline, Inc. and shall not be loaned, copied, or reproduced in any way without the written permission of Caldwell-Cline, Inc.  
PLEASE NOTE: Caldwell-Cline, Inc. assumes no liability for any mistakes or omissions that may appear in this drawing or for any consequences that may result from the use of this drawing.  
1) Contractor shall verify all dimensions and conditions on site.  
2) All work shall conform to all applicable codes and standards.  
3) Any work not shown shall be in accordance with the applicable codes and standards.  
All drawings shall be in accordance with the Georgia Building Code and shall conform to the standards of the International Building Code.  
© Copyright Caldwell-Cline, Inc.

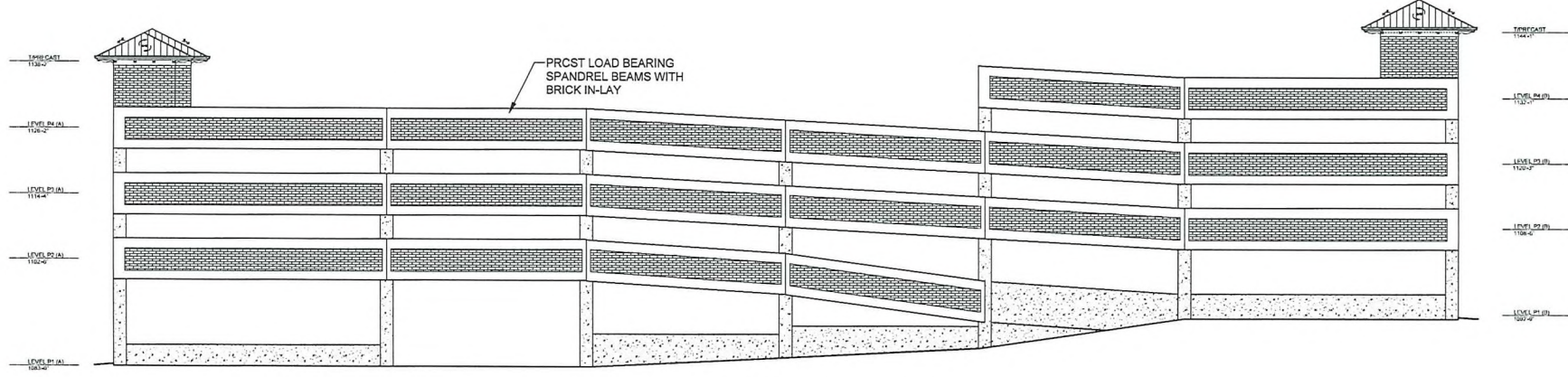
DATE	PROJECT NUMBER
01-10-24	220105
DRAWN BY	REVISIONS
JLC	
CHECKED BY	



ISSUED FOR PERMIT  
SHEET  
A2.1

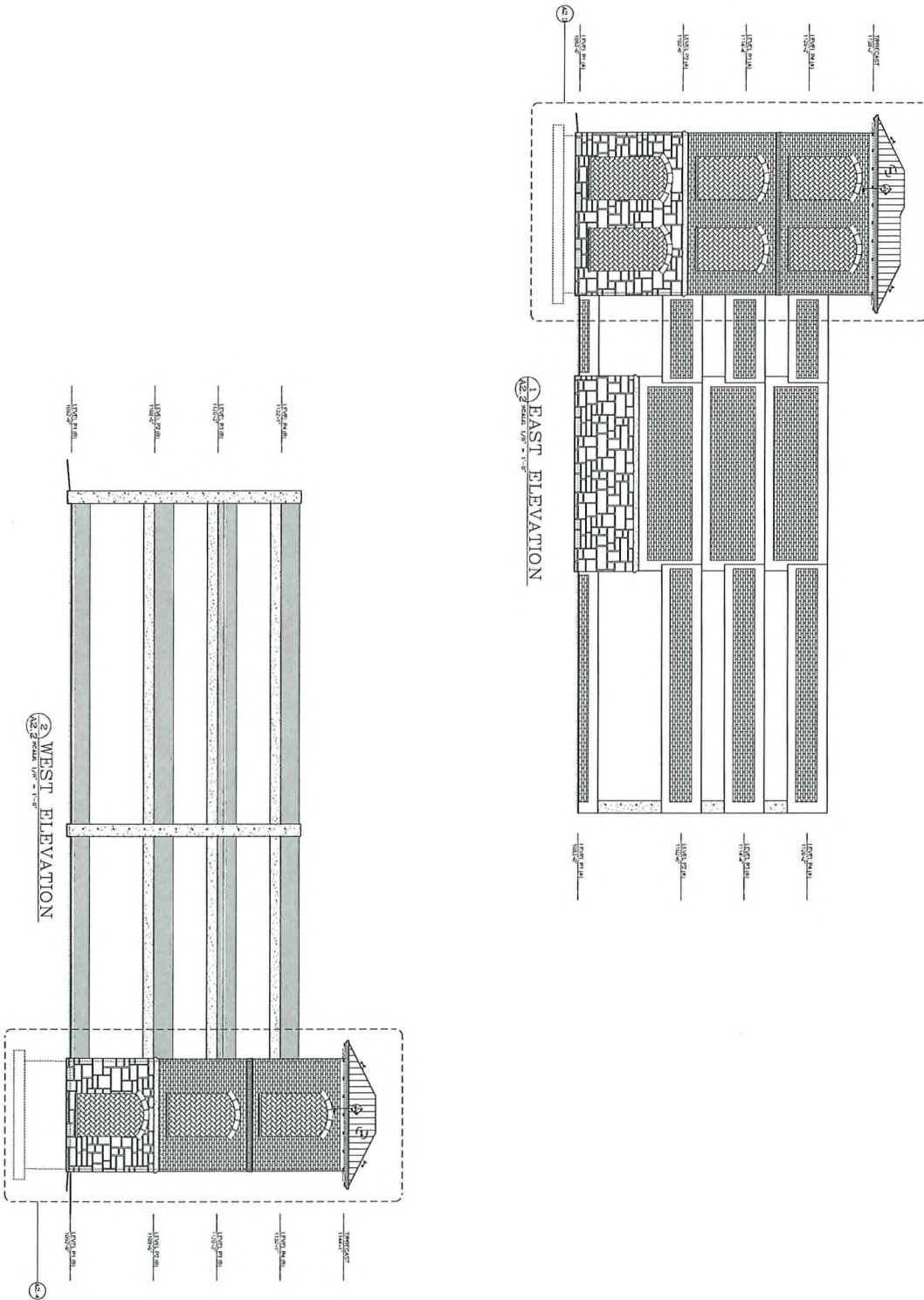


1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

1/27/24 1:24 PM I:\Projects\24-01-01\Drawings\A2.1.dwg



ISSUED FOR PERMIT  
A2.2

PROJECT SHEET	DATE	SCALE
01-10-24	AS SHOWN	AS SHOWN
250105		

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS

222 Crescent Circle - Marietta, GA 30064  
Phone 770-424-3882 • Fax 770-424-2377  
www.caldwellcline.com



**HOLLY SPRINGS**  
**PARKING DECK**  
HOLLY SPRINGS, GEORGIA 30142

PROJECT



This drawing is the property of Caldwell and Cline, Inc. and shall not be used or reproduced without the expressed written permission of Caldwell and Cline, Inc.

**PLEASE NOTE:** Caldwell and Cline, Inc. assumes no liability for any errors or omissions that may appear in this drawing. It is the responsibility of the user to verify the accuracy of the information provided.

- 1) Contractor shall verify all dimensions prior to purchase.
- 2) Contractor shall verify conditions with ALL LOCAL BUILDING DEPT'S prior to any work.
- 3) Field modifications shall only be made with written approval.

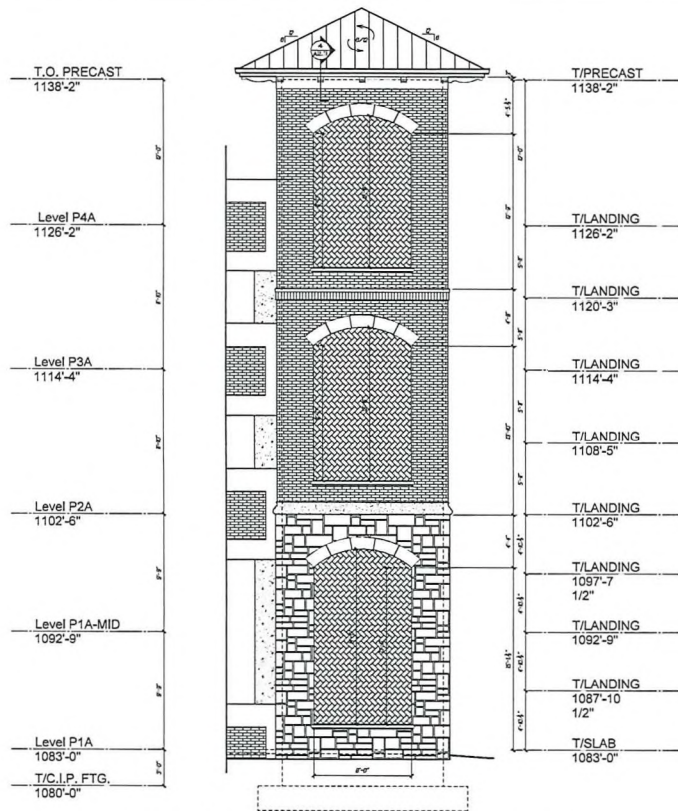
All materials and methods of construction shall conform to the specifications and standards of Caldwell and Cline, Inc. as shown on this drawing.

© Copyright Caldwell and Cline, Inc.

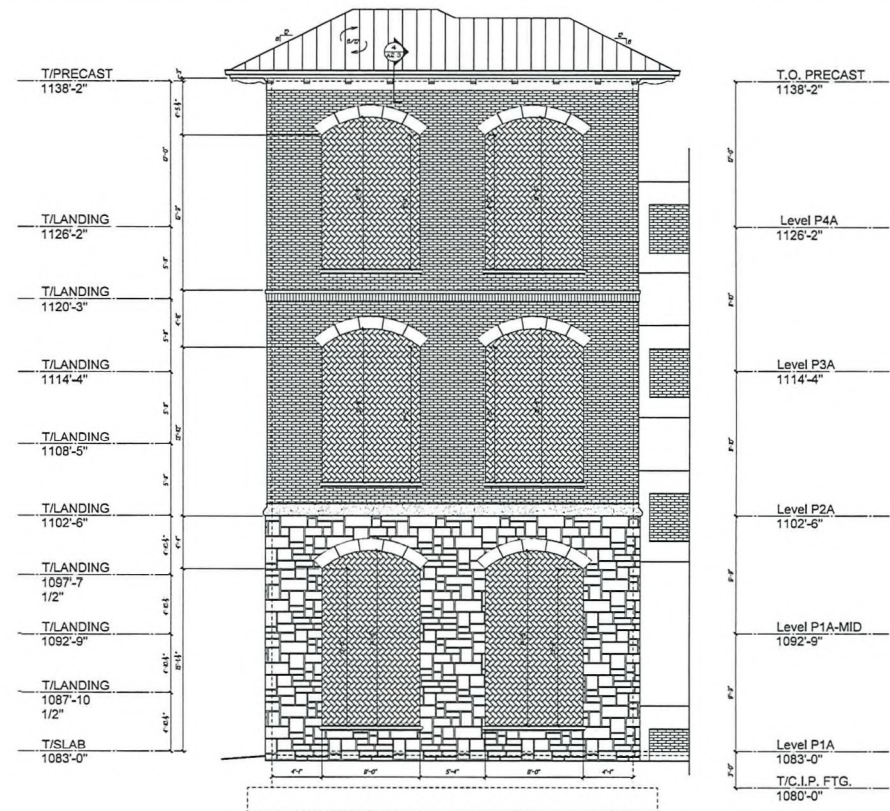
DATE	PROJECT NUMBER
01-10-24	220105
DESIGNED BY	DRAWN BY
JLC	JLC
CHECKED BY	



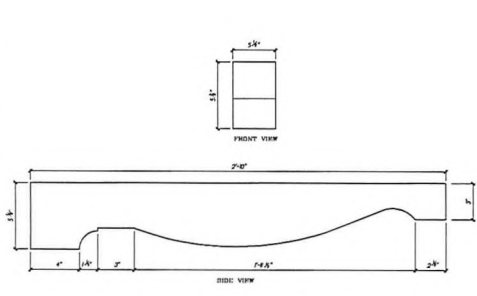
ISSUED FOR PERMIT  
SHEET  
A2.3



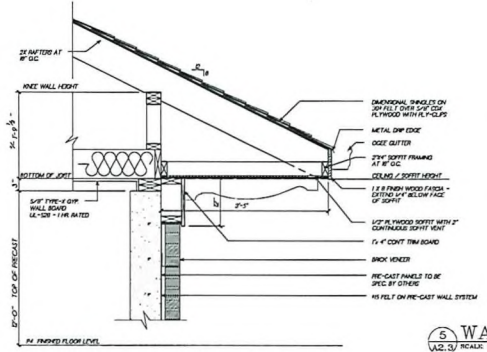
1 STAIR TOWER "A" SOUTH ELEVATION  
A2.2 SCALE: 1/4" = 1'-0"



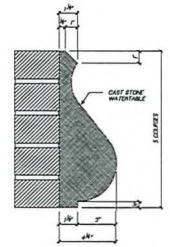
2 STAIR TOWER "A" EAST ELEVATION  
A2.2 SCALE: 1/4" = 1'-0"



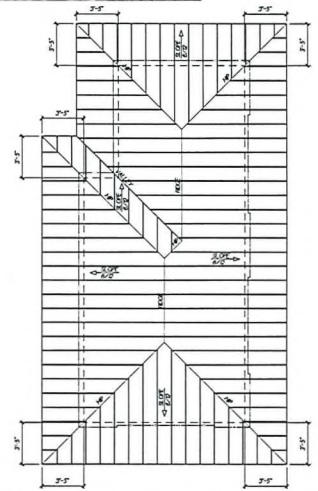
3 BRACKET DETAIL  
A2.3 SCALE: 3/8" = 1'-0"



4 CORNICE SECTION  
A2.3 SCALE: 3/8" = 1'-0"



5 WATERTABLE SECTION  
A2.3 SCALE: 3/8" = 1'-0"

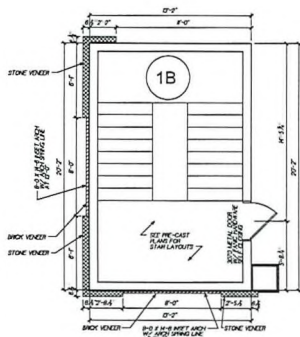


6 STAIR & ELEVATOR TOWER ROOF A - PLAN  
A2.3 SCALE: 1/4" = 1'-0"

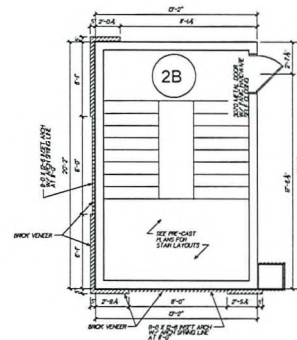
DATE: 02/26/24 1:56 PM (modified: 02/27/24 9:45 AM) by: JLC/PLM/DAV/2023/2400000000



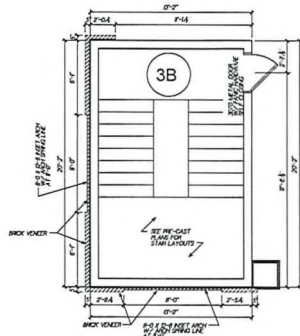




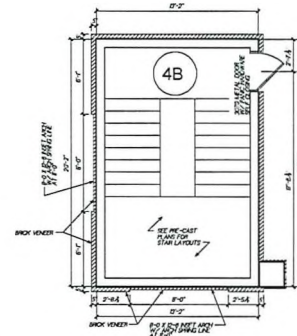
1 STAIR & ELEVATOR TOWER P1B - PLAN  
 A3.2 SCALE: 1/4" = 1'-0"



2 STAIR & ELEVATOR TOWER P2B - PLAN  
 A3.2 SCALE: 1/4" = 1'-0"



3 STAIR & ELEVATOR TOWER P3B - PLAN  
 A3.2 SCALE: 1/4" = 1'-0"



4 STAIR & ELEVATOR TOWER P4B - PLAN  
 A3.2 SCALE: 1/4" = 1'-0"

PROJECT

HOLLY SPRINGS  
 PARKING DECK  
 HOLLY SPRINGS, GEORGIA 30142



**CALDWELL • CLINE**  
 ARCHITECTS & DESIGNERS  
 222 CRANFORD CIRCLE - MARIETTA, GA 30064  
 PHONE 770-424-2882 FAX 770-424-2377  
 WWW.CALDWELLCLINE.COM

The drawings are the property of Caldwell Architects Inc. and shall not be used or reproduced without the express written permission of Caldwell Architects Inc.

PLEASE NOTE: Caldwell Architects Inc. assumes no liability for any structure regardless of its use, until it is fully inspected and approved.

- 1) Contractor must verify ALL DIMENSIONS prior to assembly.
- 2) Contractor must verify conditions with ALL LOCAL BUILDING CODES.
- 3) All drawings are subject to change without notice.

All materials and methods to be used shall conform to Codes and standards in force at the time of construction.

© Copyright Caldwell Architects Inc.

PROJECT NUMBER

01-10-24 220105

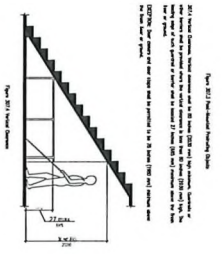
DESIGNED BY

JLC

CHECKED BY

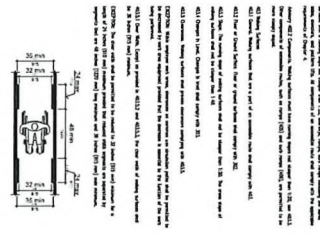
DATE



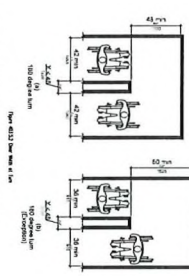


06111 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06111 Staircase'.

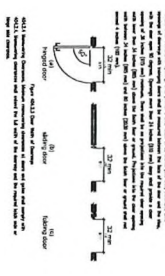
06112 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06112 Staircase'.



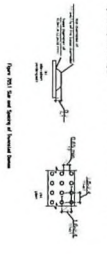
06113 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06113 Staircase'.



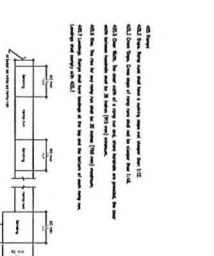
06114 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06114 Staircase'.



06115 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06115 Staircase'.



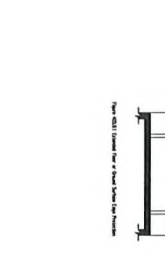
06116 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06116 Staircase'.



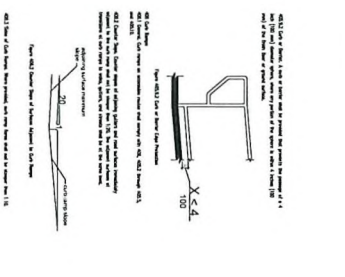
06117 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06117 Staircase'.



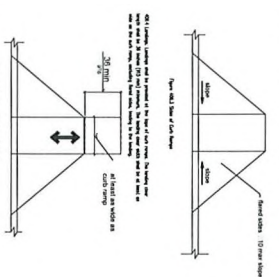
06118 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06118 Staircase'.



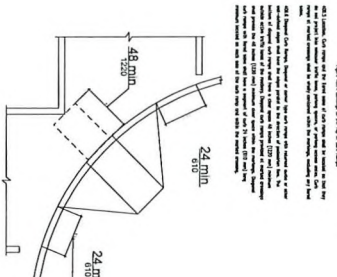
06119 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06119 Staircase'.



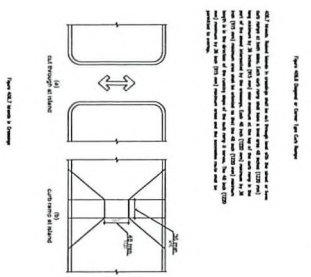
06120 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06120 Staircase'.



06121 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06121 Staircase'.



06122 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06122 Staircase'.



06123 Staircase: Shows the layout of the stairs, including the tread and riser heights. The drawing is labeled 'Type 06123 Staircase'.

01/19/2024

**CALDWELL • CLINE**  
ARCHITECTS • DESIGNERS

222 Crescent Circle - Marietta, GA 30064  
Phone 770-424-3882 - Fax 770-424-2377  
www.caldwellcline.com

**HOLLY SPRINGS**  
PARKING DECK  
HOLLY SPRINGS, GEORGIA 30142

PROJECT

ISSUED FOR  
DATE  
NPPA.02

DATE  
01-10-24  
220105

PROJECT NAME  
DATE  
01-10-24  
220105

DATE  
01-10-24  
220105

DATE  
01-10-24  
220105

DATE  
01-10-24  
220105

# COHS - Parking Deck

EXTERIOR SELECTIONS	
<b>PAINT:</b>	
TRIM	SW 6385 Dover White
WOOD ACCENT BRACKETS	SW 3542 Chestnut
PAINTED BRICK PANELS	SW 7017 Dorian Gray
GUTTERS & DOWNS	Dark Bronze
<b>MASONRY:</b>	
BRICK	General Shale - River Shoals - Queen
MORTAR	Argos Ivory Buff
STONE	Elberton Granite Rubble Stone
<b>ROOFING:</b>	
METAL	24 ga Standing Metal Seam Color: Dark Bronze



# ITEM REPORT

**AGENDA ITEM NUMBER: III.A.**



**FROM:** Robert H. Logan, City Manager

**MEETING DATE:** August 20, 2025

**AGENDA ITEM:** Proposal dated July 9, 2025, from Foresite Group, LLC for Professional Design Services to Add Service #6 Town Center Hardscape/Landscape/Electrical/AV Phasing Plans as shown in Exhibit "A", in an amount not to exceed \$15,600.

---

## **EXECUTIVE SUMMARY:**

Proposal dated July 9, 2025, from Foresite Group, LLC for Professional Design Services to Add Service #6 Town Center Hardscape/Landscape/Electrical/AV Phasing Plans.

## **FISCAL IMPACT:**

\$15,600

## **ATTACHMENTS:**

1. Foresite Group\_Add Service #6

## **RECOMMENDATION:**

The staff recommendation is approval of the Letter Agreement for Professional Design Services for Holly Springs Town Center, Add Service #6: Town Center Hardscape/Landscape/Electrical/AV Phasing Plans.

## **CONCURRENCES:**

City Council  
Finance and Administration



3740 Davinci Court, Suite 100  
Peachtree Corners, Georgia 30092  
o | 770.368.1399  
f | 770.368.1944  
w | www.fg-inc.net

July 9, 2025

**VIA EMAIL**

Rob Logan  
City of Holly Springs  
Holly Springs Downtown Development Authority  
3235 Holly Springs Pkwy  
Holly Springs, GA 30115

**Re: Letter Agreement for Professional Design Services  
Holly Springs Town Center  
Add Service #6: Town Center Hardscape/Landscape/Electrical/AV Phasing Plans  
Holly Springs, Georgia**

Mr. Logan:

Foresite Group, LLC thanks you for the opportunity to submit this Proposal for Additional Services to the City of Holly Springs and Holly Springs Downtown Development Authority for providing Professional Design Services for the above referenced project. Our Project Understanding is detailed below, and the following Proposal details the Scope of Services, Additional Services, Fees, and Hourly Rate Schedule.

**Project Understanding**

Foresite Group has been requested to provide an add service proposal to develop phasing plans for the hardscape, landscape, lighting, and AV plans for Holly Springs Town Center.

Based on our understanding of this project, Foresite Group has made the following assumptions regarding the Scope of Services:

1. Delineation of desired phases is shown in Exhibit A, attached.
2. Phase 1 is being bid separately and will not be included in this set or part of this scope.
3. Design document changes will include removal of the following. No other design changes are included in this scope except for revisions necessary to achieve the phasing limits shown.
  - a. Phase 1 landscape/lighting/irrigation
  - b. (1) dumpster enclosure
  - c. (2) restroom buildings at the amphitheater area.
4. Permit plans issued by Foresite Group on 8/25/2023 to serve as basis of construction document revisions. Products/materials specified in these plans to remain.
5. Revisions to plans during bidding and construction for value engineering are not included in this scope.

6. Revisions to site lighting photometric plans are not included in this scope.
7. Additional site visits are not included in this scope.
8. Meetings with Client will be via phone or online.
9. Addressing of permitting comments are not included in this scope.
10. Updates to opinion of probable cost are not included in this scope.
11. Bidding will be managed and advertised by others.
12. Proposal scope and fees are valid from 60 days from date of proposal.

### **SECTION 1** **Scope of Services**

**Task 1 – Hardscape/Landscape/Electrical/AV Phasing Plans:** *Foresite Group will complete the following tasks as part of this phase:*

1. Update CAD backgrounds for hardscape, landscape, audio/video, electrical and irrigation plans to remove elements already constructed or those to be built in a future phase.
2. Revise design documents to account for phasing lines.
3. Incorporate changes into 95% level construction documents.
4. Issue 95% construction documents to Client for review.
5. Meet with Client to review construction documents.
6. Incorporate Client comments into final construction documents.

*Deliverables:*

- *PDF of Construction Documents*

### **SECTION 2** **Additional Services**

(items not included in this scope but can be provided at an additional fee)

1. Construction documents revisions beyond those listed in the scope.
2. Meetings and additional site visits outside scope of services.
3. Work resulting from changes made in the contract documents to facilitate construction procedures requested after release of the contract documents.
4. Addressing permit comments.
5. Opinion of probable cost.

**SECTION 3**  
**Fees**

<b>Task</b>	<b>Task Fee</b>
Task 1 – Hardscape/Landscape/Electrical/AV Phasing Plans	\$ 15,600.00
<hr/>	
<b>Total</b>	<b>\$ 15,600.00</b>

All permitting, application, and similar project fees will be paid directly by the Client.

Fees and expenses will be invoiced monthly based, as applicable, upon the percentage of services completed or actual services performed, and expenses incurred as of the billing period. Payment will be due within 28 calendar days of the date of the invoice. Payments shall be made electronically or sent to Foresite Group, LLC., 3740 Davinci Court, Suite 100, Peachtree Corners, GA 30092.

Invoices are due to Owner's Representative no later than the 10th of each month for services rendered the previous month. Payment will be made on or before the 15th of the following month.

**2025 Hourly Rate Schedule**  
(To be Adjusted Annually)

Principal	\$ 295-415/hour
Practice Leader	\$ 260-295/hour
Chief Engineer	\$ 250-295/hour
Division Leader	\$ 180-225/hour
Senior Project Manager	\$ 190-230/hour
Senior Project Engineer	\$ 180-245/hour
Senior Landscape Architect	\$ 140-175/hour
Project Landscape Architect	\$ 120-160/hour
Project Manager	\$ 140-175/hour
Project Engineer	\$ 155-180/hour
Project Analyst	\$ 125-140/hour
Senior Designer	\$ 135-175/hour
Designer	\$ 105-120/hour
CAD Drafter	\$ 85-105/hour
Administrative Assistant	\$ 80/hour
Expert Witness	\$ 295/hour

If you agree to the terms of this Letter Agreement and the Standard Terms and Conditions attached hereto and incorporated herein, please have an authorized representative sign and return this Letter Agreement in the spaces below.

We appreciate the opportunity to provide these services to you. Please do not hesitate to contact us if you have any questions or comments.

Sincerely,  
**FORESITE GROUP, LLC.**

By: Jonathan M. Bullard

Name: Jonathan Bullard

Title: Senior Project Manager, Greenspace + Land Design

Date: July 9, 2025

**Client:**  
City of Holly Springs  
By: Ryan P. Shirley  
(Signature)

Name: Ryan P. Shirley  
(Printed Name)

Title: Mayor

Date: August 4, 2025



**Client:**  
Holly Springs Downtown Development Authority  
By: \_\_\_\_\_  
(Signature)

Name: \_\_\_\_\_  
(Printed Name)

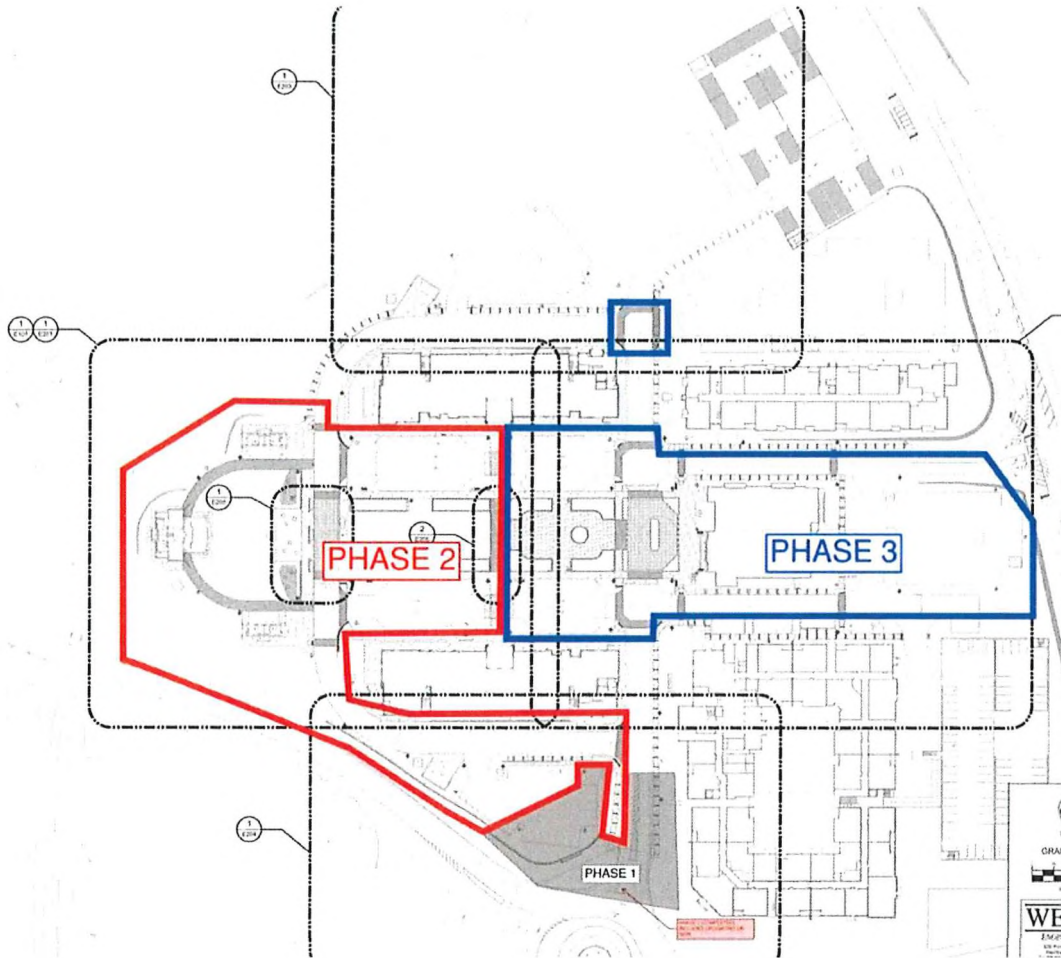
Title: \_\_\_\_\_

Date: \_\_\_\_\_

ALL INVOICES SHALL BE SENT TO THE FOLLOWING  
ADDRESS: **City of Holly Springs Downtown Development  
Authority** [dme.odyssey@gmail.com](mailto:dme.odyssey@gmail.com)  
**Attn: David Edwards**

ALL PAYMENTS SHALL BE SENT VIA EFT OR TO THE FOLLOWING ADDRESS:  
**Foresite Group, LLC.**  
**3740 Davinci Court, Suite 100**  
**Peachtree Corners, GA 30092**  
[ar@fg-inc.net](mailto:ar@fg-inc.net)

**Exhibit 'A'**  
**Scope Limits**



**City of Holly Springs  
Downtown Development Authority of Holly Springs Minutes  
August 4, 2025**

**Authority Members Present:** Chairman Ollie Evans, Vice Chairman Scott Owen, Secretary Andrea Johnston, Treasurer Maggie Grayeski, Authority Member Ryan Smith, Councilman Kyle Whitaker, Authority Member Steven Miller.

**Authority Members Not Present:** None.

**Elected Officials Present:** Councilman Kevin Moore and Councilman Jeff Wilbur.

**Staff Present:** City Manager Robert H. Logan, Assistant City Manager/City Clerk Karen Norred, Chief Tommy Keheley, Deputy Chief Greg Clyburn, Finance Director Denise Lamazares, Community Development Director Nancy Moon, Facilities/IT Manager Ron Carter, and Assistant City Clerk/Records Manager Lou Stewart.

**I. CALL TO ORDER**

Chairman Evans called the Downtown Development Authority of Holly Springs Meeting to order.

**II. OLD BUSINESS**

**III. NEW BUSINESS**

- A. Consider the adoption of a resolution authorizing a limited warranty deed relating to the issuance of the Urban Redevelopment Agency's revenue bonds.

Authority Member Miller made a motion to approve. Vice Chairman Owen seconded the motion. Motion carried. Yes 7, No 0, Abstained 0.

- B. July 16, 2025 Downtown Development Authority of Holly Springs meeting minutes.

Chairman Evans made a motion to approve the minutes. Secretary Johnston seconded the motion. Motion carried. Yes 7, No 0, Abstained 0.

**IV. REPORTS**

**V. ADJOURNMENT**

Chairman Evans made a motion to adjourn the meeting. Authority Member Smith seconded the motion. Motion carried. Yes 7, No 0, Abstained 0.

Respectfully Submitted.

---

Ollie Evans, Chairman

---

Erin Honea, Communications & External Affairs Director

DRAFT

# ITEM REPORT

**AGENDA ITEM NUMBER: III.C.**



**FROM:** Robert H. Logan, City Manager

**MEETING DATE:** August 20, 2025

**AGENDA ITEM:** A Loan Commitment Letter to Holly Springs Senior Housing, LLC (Borrower) extending certain loan financing to Borrower and authorize the Chairman to execute the letter upon approval of the City Attorney.

---

## **EXECUTIVE SUMMARY:**

A Loan Commitment Letter to Holly Springs Senior Housing, LLC (Borrower) extending certain loan financing to Borrower and authorize the Chairman to execute the letter upon approval by the City Attorney.

## **FISCAL IMPACT:**

## **ATTACHMENTS:**

None

## **RECOMMENDATION:**

Staff recommendation is approval.

## **CONCURRENCES:**

City Manager