



Downtown Development Authority of Holly Springs

Holly Springs Public Safety Building, Council Chambers
3235 Holly Springs Pkwy. Holly Springs, GA 30115
Wednesday, September 17, 2025 | 6:00 PM

Ollie Evans - Chair | Maggie Grayeski | Andrea Johnston

Steven W. Miller | Scott Owen - Vice Chair | Ryan Smith | Kyle Whitaker

AGENDA

I. CALL TO ORDER

II. OLD BUSINESS

- A. Certificate of Appropriateness (CA-02-2025) for the Holly Springs Town Center Parking Deck located at 189 Timothy Downing Drive, Holly Springs, GA, tax parcel 103 of tax plat 15N14.

III. NEW BUSINESS

- A. August 20, 2025 Downtown Development Authority of Holly Springs Meeting minutes.
- B. Invoice #59564 from Cherokee County Chamber of Commerce for the Authority's Annual Membership Investment in an amount not to exceed \$340.

IV. REPORTS

V. ADJOURNMENT

ITEM REPORT

AGENDA ITEM NUMBER: II.A.



FROM: Robert H. Logan, City Manager

MEETING DATE: September 17, 2025

AGENDA ITEM: Certificate of Appropriateness (CA-02-2025) for the Holly Springs Town Center Parking Deck located at 189 Timothy Downing Drive, Holly Springs, GA, tax parcel 103 of tax plat 15N14.

EXECUTIVE SUMMARY:

Caldwell Cline Architects & Designers have completed the revised building plans for the Holly Springs Town Center Parking Deck. The City sent out a request for bids (RFB-2023-01) for the Holly Springs Town Center Parking Deck (Precast Concrete) on January 31, 2023. The City of Holly Springs City Council awarded the project to Tindall Corporation on March 27, 2023. Pursuant to the City of Holly Springs Commercial Corridor Design Overlay District Guidelines, adopted by the Mayor and City Council on May 15, 2016, applications for certificates of appropriateness must be presented in meetings of the Design Review Committee for consideration. The Downtown Development Authority serves as the Design Review Committee for certificate of appropriateness applications submitted within the Holly Springs Town Center District. The Holly Springs Town Center Parking Deck is within the Holly Springs Town Center District.

FISCAL IMPACT:

There is no fiscal impact for a certificate of appropriateness.

ATTACHMENTS:

1. Application CA-02-2025
2. recommendation letter

RECOMMENDATION:

Staff recommends approval of the certificate of appropriateness.

CONCURRENCES:

Administration and Community Development.



TOWN CENTER CERTIFICATE OF APPROPRIATENESS APPLICATION

Application CA-02-2025

Hearing Date April 16, 2025

Date of Application April 8, 2025

Applicant City of Holly Springs

Owner Downtown Development Authority of Holly Springs
(If other than Applicant)

Address 3237 Holly Springs Parkway
Holly Springs, GA

Address P.O. Box 990
Holly Springs, GA

Zip Code 30115 Phone 770-345-5536

Zip Code 30142 Phone 770-345-5536

Email: rlogan@hollyspringsga.us

Email: rlogan@hollyspringsga.us

Signature *Robert H Logan*

Signature *Robert H Logan*

Address/Location of Property 189 Timothy Downing Drive

Map/Parcel ID 15N14-103

Description of Project:

The proposed project is the City of Holly Springs Town Center Parking Deck.

**** **Attach additional sheets as needed*******

The following information must be attached to completed application:

- A** Warranty Deed
- B** Tax Documentation
- C** Survey Plat by Registered Surveyor
- D** Site Development Plan by Registered Surveyor
- E** Color Renderings of Proposed/Renovated Structures with Materials/Colors List
- F** Materials Board

Do Not Write Below Line

Downtown Development Authority Decision

Approved _____

Denied _____

Stipulations _____

A

return to:

529229
CITY OF HOLLY SPRINGS
P.O. BOX 990
HOLLY SPRINGS, GA 30142

**Return Recorded Document to:
Dyer & Rusbridge, P.C.
291 E. Main Street
Canton, GA 30114**

WARRANTY DEED

STATE OF GEORGIA

COUNTY OF CHEROKEE

THIS INDENTURE, made the 24th day of September, 2018, between **City of Holly Springs, Georgia**, of the County of **Cherokee**, and State of Georgia, as party of the first part, hereinafter called Grantor, and **Downtown Development Authority of the City of Holly Springs, Georgia**, as party of the second part, hereinafter called Grantee (the words "Grantor(s)" and "Grantee(s)" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of **TEN AND 00/100 DOLLARS (\$10.00)** and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell alien, convey and confirm unto the said Grantee,

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lots 305, 306, 343 and 344 of the 15th District, 2nd Section, in the City of Holly Springs, Cherokee County, Georgia, and being more particularly described in Exhibit "A" attached hereto and incorporated herein.

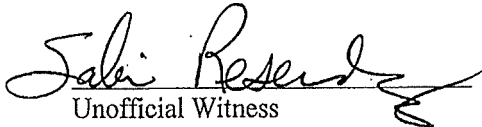
TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in **FEE SIMPLE**.

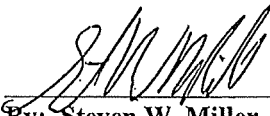
AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

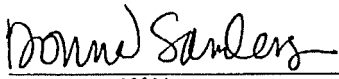
IN WITNESS WHEREOF, Grantor has signed and sealed this deed, the day and year first above written.

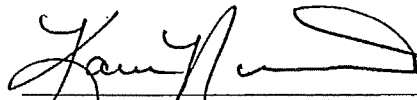
Signed, sealed, and delivered in
the presence of:

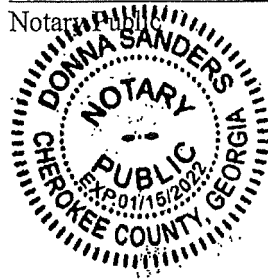
CITY OF HOLLY SPRINGS, GEORGIA


Unofficial Witness

 (SEAL)
By: Steven W. Miller, Mayor


Notary Public

 (SEAL)
Attest By: Karen Norred, City Clerk



COPY

EXHIBIT "A"

TRACT 1:

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 343 of the 15th District, 2nd Section, in the City of Holly Springs, Cherokee County, Georgia, being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, begin at the common corners of Land Lots 306, 307, 343 and 342; proceed thence in a westerly direction North 89° 06' 52" West a distance of 26.91 feet to an iron pin found, which is the TRUE POINT OF BEGINNING; thence South 21° 24' 32" East a distance of 71.62 feet to an iron pin found; thence South 00° 39' 34" West a distance of 118.45 feet to an iron pin set on the northern right of way of Hickory Road (variable right of way); thence along the northern right of way of Hickory Road (variable right of way) South 60° 34' 51" West a distance of 152.30 feet; running thence southwesterly along the northern right of way of Hickory Road (variable right of way) and following the curvature thereof an arc distance of 516.21 feet having a chord bearing of South 85° 29' 52" West and a chord distance of 500.09 feet with a radius of 593.50 feet; thence North 69° 35' 07" West a distance of 63.99 feet to an iron pin set; thence leaving the right of way of Hickory Road (variable right of way) North 02° 02' 28" East a distance of 275.00 feet to an iron pin found; thence North 89° 07' 39" East a distance of 397.10 feet to an iron pin found; thence South 89° 06' 52" East a distance of 259.57 feet to an iron pin found and the TRUE POINT OF BEGINNING.

Said tract being 4.674 acres as more particularly shown on survey for City of Holly Springs Downtown Development Authority dated April 14, 2009, prepared by Charles C. Franklin, GRLS. This being the property conveyed to the City of Holly Springs, Georgia by deed recorded in Deed Book 12745, Page 433, Cherokee County, Georgia Deed Records.

TRACT 2:

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 343 of the 15th District, 2nd Section, in the City of Holly Springs, Cherokee County, Georgia, being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, begin at the common corners of Land Lots 306, 307, 343, and 342; proceed thence in a westerly direction North 89° 06' 52" West a distance of 26.91 feet to an iron pin found; thence South 21° 24' 32" East a distance of 71.62 feet to an iron pin found; thence South 00° 39' 34" West a distance of 118.45 feet to an iron pin set on the northern right of way of Hickory Road (variable right of way); thence South 00° 39' 34" West a distance of 59.77 feet to an iron pin found on the southern right of way of Hickory Road (variable right of way) which is the TRUE POINT OF BEGINNING; thence South 00° 49' 44" West a distance of 726.06 feet to an iron pin found; thence North 67° 37' 09" West a distance of 598.81 feet to an iron pin found; thence North 13° 59' 42" East a distance of 323.09 feet to an iron pin found on the southern right of way of Hickory Road (variable right of way) and following the curvature thereof an arc distance of

196.67 feet having a chord bearing of North 83° 17' 47" East and chord distance of 191.85 feet with a radius of 255.60 feet; thence continuing along the southern right of way of Hickory Road (variable right of way) North 61° 15' 30" East a distance of 337.10 feet to an iron pin found and the TRUE POINT OF BEGINNING.

Said tract being 5.891 acres as more particularly shown on survey for City of Holly Springs Downtown Development Authority dated April 14, 2009, prepared by Charles C. Franklin, GRLS. This being the property conveyed to the City of Holly Springs, Georgia by deed recorded in Deed Book 12745, Page 433, Cherokee County, Georgia Deed Records.

TRACT 3:

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 343, 15th District, 2nd Section of Cherokee County, Georgia, being a 0.63 acre tract as shown on plat of survey for Ronald H. Dunn and Ruby Nell Dunn prepared by Adams-Sims & Associates, Inc. dated May 23, 1989 and being recorded in Plat Book 37, Page 143, Cherokee County, Georgia Records. This being the property conveyed to the City of Holly Springs, Georgia in Deed Book 12155, Page 489, Cherokee County, Georgia Records.

TRACT 4:

All that tract or parcel of land lying and being in Land Lot 343 of the 15th District, 2nd Section, Cherokee County, Georgia, and being more particularly described as follows:
Beginning at the intersection of the southern right of way of Hickory Rd. and the western right of way of Palm Street; thence along the right of way of Palm Street South 05°51'39" East 47.92 feet; thence continuing along the right of way of Palm Street South 09°24'48" East 21.51 feet; thence continuing along the right of way of Palm Street South 12°35'15" East 50.65 feet; thence continuing along the right of way of Palm Street South 15°04'05" East 14.96 feet; thence leaving the right of way North 85°27'35" West 77.73 feet; thence along a curve having a 1320.39' foot radius, with an arc length of 33.31 feet, being subtended by a chord of South 14°07'57" West for a distance of 33.31 feet; thence South 84°43'57" West for a distance of 33.73 feet; thence along a curve to the left having a 1352.39' radius, with an arc length of 60.00 feet, being subtended by a chord of South 11°40'52" West for a distance of 60 feet; thence South 79°35'24" East 7.30 feet; thence South 08°38'26" West a distance of 80.79 feet; thence North 81°21'34" West a distance of 22.80 feet to a point on the east right of way of the L&N Railroad; thence northerly along the east right of way of the L&N Railroad to the intersection with the southerly right of way of Hickory Rd.; thence easterly along the southerly right of way of Hickory Rd. to its intersection with the westerly right of way of Palm St. which is the True Point of Beginning.

This being the same property conveyed to the City of Holly Springs, Georgia in Deed Book 6968, Page 154, Cherokee County, Georgia Deed Records.

TRACT 5:

All that tract or parcel of land lying and being in Land Lot 343 of the 15th District, 2nd Section, Cherokee County, Georgia and being more particularly described as follows:

To find the Point of Beginning, start at the intersection of the west right of way of Palm Street (40' R/W) and the south line of Land Lot 343; thence running northerly along the west right of way of Palm Street 660.95 feet to a point on the west right of way of Palm Street, which is the Point of Beginning; thence leaving the said right of way South 61°55'38" West a distance of 261.35 feet; thence South 01°41'36" West a distance of 96.99 feet; thence South 01°42'29" West a distance of 209.36 feet to a point on the easterly right of way of the L&N Railroad (100' R/W) thence continuing along the railroad right of way North 05°12'18" West a distance of 288.05 feet; thence continuing along the railroad right of way North 04°49'50" West a distance of 29.50 feet; thence continuing along the railroad right of way along an arc distance of 265.35 feet (chord bearing North 00°21'01" East, chord distance of 264.98 feet, and radius of 1,439.24 feet); thence leaving the railroad right of way South 82°33'37" East a distance of 23.28 feet; thence North 07°34'52" East a distance of 80.67 feet; thence South 80°36'24" East a distance of 7.45 feet; thence along an arc distance of 60.00 feet (chord bearing North 10°31'24" East, chord distance of 59.99 feet, and radius of 1,352.39 feet); thence North 83°38'06" East a distance of 33.77 feet; thence along an arc distance of 33.16 feet (chord bearing North 13°15'26" East, chord distance of 33.16 feet, and radius of 1,320.39 feet); thence South 86°42'39" East a distance of 77.51 feet to a point on the west right of way of Palm Street; thence along the west right of way of Palm Street an arc distance of 332.51 feet (chord bearing South 16°48'07" East, chord distance of 332.51 feet, and radius of 21,193.25 feet) to the Point of Beginning.

Said tract being 2.032 acres as shown on a boundary survey prepared for City of Holly Springs by Gunnin Land Surveying, Inc. dated December 12, 2015. This being the same property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 13741, Page 76, Cherokee County, Georgia Records.

TRACT 6:

All that tract or parcel of land lying and being in Land Lot 344 of the 15th District, 2nd Section of Cherokee County, Georgia, and being business lots Nos. 1, 2, and 3 in the Town of Holly Springs, and originally fronting on the L&N Railroad and running back to the new Highway No. 5 (now the front) and each lot being 26 feet along the front and 80 feet deep, and having thereon a garage and brick filling station, total frontage being 78 feet on Highway No. 5.

This being the same property conveyed to the City of Holly Springs, Georgia by deed recorded in Deed Book 9001, Page 460, Cherokee County, Georgia Records.

TRACT 7:

All that tract or parcel of land lying and being in Land Lots 306 and 343 of the 15th District, 2nd Section of Cherokee County, Georgia, being in the City of Holly Springs and more particularly described as follows:

BEGINNING at an iron pin located at the intersection of the southwesterly right of way of Jackson Street (having a 40-foot right of way) with the easterly right of way of Holly Springs Parkway (f/k/a Georgia Hwy. No. 5, having an 80 foot right of way); thence running South 31 degrees 43 minutes 30 seconds East as measured along the southwesterly right of way of Jackson Street for a distance of 109.63 feet to a #4 rebar found and corner; thence leaving said right of way and running thence South 81 degrees 00 minutes 00 seconds West for a distance of 46.00 feet to a #4 rebar found and corner located on the easterly right of way of Holly Springs Parkway; thence running North 05 degrees 49 minutes 45 seconds West as measured along the easterly right of way of Holly Springs Parkway for a distance of 58.69 feet to a point; thence continuing along the easterly right of way of Holly Springs Parkway North 08 degrees 27 minutes 30 seconds West for a distance of 42.52 feet to an iron pin located at the intersection of the southwesterly right of way of Jackson Street with the easterly right of way of Holly Springs Parkway, which is the POINT OF BEGINNING. Said tract being shown on a plat of survey prepared for William E. Parker, dated February 13, 1989, prepared by Martin & Norton, Inc.

This being the same property conveyed to the City of Holly Springs, Georgia by deed recorded in Deed Book 7529, Page 75, Cherokee County, Georgia Records.

TRACT 8:

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lots 306 and 343 of the 15th District, 2nd Section, Cherokee County, Georgia, as shown on a plat made by Jerry Thacker and Associates, dated August 30, 1977, and revised on March 21, 1996, and being more particularly described as follows:

BEGINNING at a point at the intersection of the westerly right of way of Jackson Street (having a 40-foot right of way) and the northerly right of way of Holly Street (having a 20-foot right of way); from this POINT OF BEGINNING running thence North 81° 50' West a distance of 76.44 feet to an iron pin placed; thence running North 15° 37' 51" East a distance of 108.56 feet to an iron pin placed on the southwesterly right of way of Jackson Street; running thence South 30° 14' East along the southwesterly right of way of Jackson Street a distance of 90.06 feet to a point; running thence South 01° 37' East a distance of 37.6 feet to the TRUE POINT OF BEGINNING.

Subject to that certain easement reserved in the Warranty Deed recorded at Deed Book 2349, Page 104, Cherokee County, Georgia records.

This being the same property conveyed to the City of Holly Springs, Georgia by deed recorded in Deed Book 10392, Page 241, Cherokee County, Georgia Deed Records.

TRACT 9:

All that tract or parcel of land lying and being in Land Lots 306 and 343 of the 15th District, 2nd Section of Cherokee County, Georgia and being the property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 12791, Page 244, Cherokee County, Georgia Records.

TRACT 10:

All that tract or parcel of land lying and being in Land Lot 343 of the 15th District, 2nd Section of Cherokee County, Georgia and being the property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 12774, Page 288, Cherokee County, Georgia Records.

TRACT 11:

All that tract or parcel of land lying and being in Land Lot 343 of the 15th District, 2nd Section of Cherokee County, Georgia and being the property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 12774, Page 291, Cherokee County, Georgia Records.

TRACT 12:

All that tract or parcel of land lying and being in the 15th District, 2nd Section of Cherokee County, Georgia and being the property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 5298, Page 485, Cherokee County, Georgia Records.

TRACT 13:

All that tract or parcel of land lying and being in the 15th District, 2nd Section of Cherokee County, Georgia and being the property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 3005, Page 277, Cherokee County, Georgia Records.

TRACT 14:

All that tract or parcel of land lying and being in the 15th District and 2nd Section, Cherokee County, Georgia, lying and being in the Town of Holly Springs, Georgia, and known as Town Lot No. 4; bounded on the east by L&N Railroad Street; on the north by N.P. Vaughn Garage; on the west by Marietta-Canton Highway; and on the south by J.F. Ragsdale brick store. This tract being 18 feet wide and containing one store building. This being the same property conveyed to the City of Holly Springs, Georgia in a deed recorded in Deed Book 5111, Page 342, Cherokee County, Georgia Records.

SECTION A - SELLER'S INFORMATION (Do not use agent's Information)				SECTION C - TAX COMPUTATION	
SELLER'S BUSINESS / ORGANIZATION / OTHER NAME City of Holly Springs				Exempt Code If no exempt code enter NONE	Govt/NonProfit Public Corp
MAILING ADDRESS (STREET & NUMBER) P.O. Box 990				1. Actual Value of consideration received by seller Complete Line 1A if actual value unknown	\$0.00
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY Holly Springs, GA 30142 USA		DATE OF SALE 9/24/2018		1A. Estimated fair market value of Real and Personal property	\$3,481,500.00
SECTION B - BUYER'S INFORMATION (Do not use agent's information)				2. Fair market value of Personal Property only	\$0.00
BUYER'S BUSINESS / ORGANIZATION / OTHER NAME Downtown Development Authority of the City of Holly Sprin ...*				3. Amount of liens and encumbrances not removed by transfer	\$0.00
MAILING ADDRESS (Must use buyer's address for tax billing & notice purposes) P.O. Box 990				4. Net Taxable Value (Line 1 or 1A less Lines 2 and 3)	\$0.00
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY Holly Springs, GA 30142 USA		Check Buyers Intended Use () Residential (x) Commercial () Agricultural () Industrial		5. TAX DUE at .10 per \$100 or fraction thereof (Minimum \$1.00)	\$0.00
SECTION D - PROPERTY INFORMATION (Location of Property (Street, Route, Hwy, etc))					
HOUSE NUMBER & EXTENSION (ex 265A)		PRE-DIRECTION, STREET NAME AND TYPE, POST DIRECTION			SUITE NUMBER
COUNTY CHEROKEE		CITY (IF APPLICABLE) Holly Springs		MAP & PARCEL NUMBER 93N00 005,009,010,014,014B, ...*	ACCOUNT NUMBER
TAX DISTRICT Cherokee	GMD	LAND DISTRICT 15,	ACRES 20.62	LAND LOT 306, 307,343,3 ...*	SUB LOT & BLOCK
SECTION E - RECORDING INFORMATION (Official Use Only)					
DATE	DEED BOOK	DEED PAGE	PLAT BOOK	PLAT PAGE	

ADDITIONAL BUYERS
None

...* This symbol signifies that the data was too big for the field. The original values are shown below.
 MAP & PARCEL NUMBER: 93N00 005,009,010,014,014B,038,038A, 040, etc
 LAND LOT: 306, 307,343,342,344
 BUYER'S BUSINESS NAME: Downtown Development Authority of the City of Holly Springs, Georgia

COPY

B

CITY OF HOLLY SPRINGS
PO BOX 990
HOLLY SPRINGS, GA 30142-0990
(770)345-5536



2024 PROPERTY TAX

PROPERTY INFORMATION

MAP/PARCEL/LOT: 15N14- 103
OWNER NAME: HOLLY SPRINGS DOWNTOWN
LOCATION: 101 PALM ST
BILLING DATE: 04/03/25
DUE DATE: 12/20/24
LEGAL DESCRIPTION: LL 306; 15TH D/TRACT 1PB 80 PG 47

AMOUNT DUE

PAST DUE: 0.00
CURRENT CHARGES: 0.00
PENALTY: 0.00
TOTAL DUE: 0.00

PROPERTY VALUE ASSESSMENTS

FAIR MARKET LAND VALUE: 0
FAIR MARKET IMPROVEMENT VALUE: 2,798,200
IMPROVEMENT VALUE: 1,119,280
CITY TAX NET VALUE: 0
FIRE TAX NET VALUE: 0

EXEMPTIONS

City Tax 100% Exempt 1,119,280
Fire Tax 100% Exempt 1,119,280

CURRENT CHARGES DETAIL

DESCRIPTION	UNITS	RATE	AMOUNT
Real Prop City Tax	1.00	4.000000	0.00
Real Prop Fire Tax	1.00	2.888000	0.00

SPECIAL MESSAGE

If you have sold this property, forward the bill to the new owner and fax a copy of the settlement statement to 770-345-0209. If you have an escrow, forward the tax bill to your mortgage company as soon as possible.

Pursuant to state law (O.C.G.A. 48-2-40) interest will be added to this bill monthly if the balance is not paid by the due date. Pursuant to state law (O.C.G.A. 48-2-44) penalties will also be added to the unpaid balance beginning 120 days after the due date.

Please see our website, www.hollyspringsga.us, regarding senior exemption qualifications. Questions regarding county exemptions, assessments or the fair market value of your property should be directed to the Cherokee County Assessor's office at 678-493-6120.

PAYMENT COUPON - PLEASE DETACH AND RETURN THIS PORTION ALONG WITH YOUR PAYMENT

ACCOUNT INFORMATION

MAP/PARCEL/LOT: 15N14- 103 ACCOUNT ID: 6618
LOCATION: 101 PALM ST
TAX YEAR: 2024

AMOUNT DUE

CURRENT DUE: 0.00
PENALTY: 0.00
TOTAL DUE: 0.00



AMOUNT ENCLOSED

MAKE CHECKS PAYABLE TO:

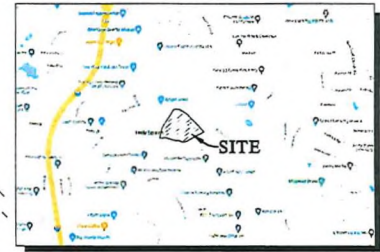
HOLLY SPRINGS DOWNTOWN
DEVELOPMENT AUTHORITY
100 HICKORY CIRCLE
CANTON, GA 30114

CITY OF HOLLY SPRINGS
PO BOX 990
HOLLY SPRINGS, GA 30142-0990

THIS PLAN WAS PREPARED BASED ON EXISTING INFORMATION PROVIDED TO ROBERTSON LOIA ROOF, PC BY OTHERS, AND NO IMPLIED ACCURACY OF SUITABILITY OF EXISTING DATA IS GIVEN (EXPRESSED OR IMPLIED) BY ROBERTSON LOIA ROOF, PC. CONDITIONS AT THE TIME OF PERMIT AND CONSTRUCTION DOCUMENT PREPARATION MAY BE DIFFERENT OR MAY HAVE CHANGED AND SHOULD BE CONFIRMED BY PROCUREMENT OF A SITE FIELD-RUN SURVEY.

THE LAYOUT OF THE PLAN DEPICTED HEREIN RELIES UPON THE LAYOUT PREFERENCES DICTATED BY THE CLIENT. SOME OF THE LAYOUT PREFERENCES MAY NOT BE COMPATIBLE WITH THE LOCAL COUNTY, STATE OR OTHER APPLICABLE JURISDICTIONAL AUTHORITIES. THE POSSIBILITY OF OBTAINING PERMITS SHOULD NOT BE RELIED UPON SOLELY BASED ON THE DEPICTION WITHIN THIS PRELIMINARY CONCEPT PLAN.

THIS PLAN IS A PRELIMINARY CONCEPT PLAN AND SHOULD NOT BE USED FOR ZONING SUBMITTALS NOR PERMIT SUBMITTALS. IT SHOULD NOT BE USED BY ANY CONTRACTOR OR SUBCONTRACTOR FOR CONSTRUCTION PURPOSES. THIS PLAN WAS PREPARED FOR OUR CLIENT AND SHOULD NOT BE USED BY ANYONE OTHER THAN THE CLIENT FOR ANY PURPOSE.



VICINITY MAP

SCALE: NONE

ROBERTSON LOIA ROOF
ARCHITECTS & ENGINEERS
2400 Peachtree Road, Suite 275 - Alpharetta, GA, 30009
404.477.0000 FAX: 404.477.0024

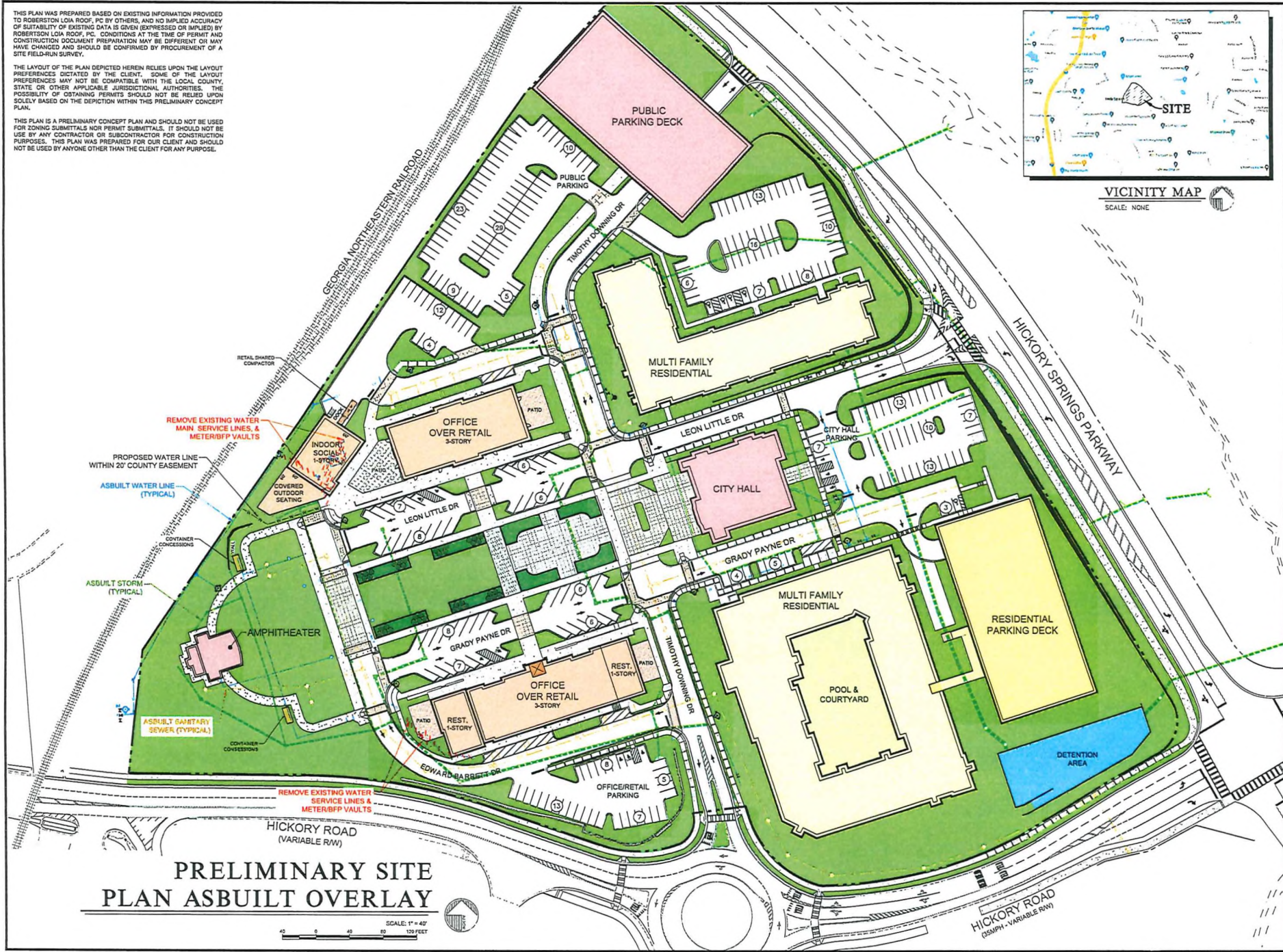
HOLLY SPRINGS TOWN CENTER
HICKORY ROAD & BETTY BARRETT WAY
HOLLY SPRINGS, GEORGIA
CONNOLLY REALTY
5000 PEACHTREE BLVD, SUITE 310
ATLANTA, GEORGIA

ASBUILT OVERLAY
EXHIBIT (CPs-9)

03/03/2025

23193

EX-1



PRELIMINARY SITE PLAN ASBUILT OVERLAY

SCALE: 1" = 40'
0 40 80 120 FEET

ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF ROBERTSON LOIA ROOF, PC. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ROBERTSON LOIA ROOF, PC.



• — NORTHWEST ELEVATION — •

E



GENERAL NOTES

1 REFER TO STRUCTURAL DRAWINGS FOR ALL SPECIFICATIONS AND DETAILS
 - CALDWELL CLINE ARCHITECTS DRAWINGS ARE FOR EXTERIOR FINISH MATERIALS ONLY

1 REFER TO PRE-CAST DRAWINGS FOR ALL STAIR SPECIFICATIONS
 - CALDWELL CLINE ARCHITECTS TO PROVIDE STAIR/RAILING DETAILS
 - PRE-CAST DRAWINGS CHECKED & VERIFIED FOR EGRESS COMPLIANCE

PROJECT DATA

BUILDING CODE 2018 EDITION INTERNATIONAL BUILDING CODE
 NEW CONSTRUCTION - PROPOSED 4- LEVEL PARKING DECK (OPEN)
 CONSTRUCTION TYPE II-A NOT SPRINKLERED

OCCUPANCY

STORAGE S-2 LOW
 PARKING GARAGE OPEN

ACCESSORY OCCUPANCIES

STORAGE ROOMS



PROJECT

HOLLY SPRINGS
 PARKING DECK
 HOLLY SPRINGS, GEORGIA 30142

AREA SUMMARY

STORY NO	BUILDING AREA PER STORY / LEVEL (ACTUAL)	ALLOWABLE AREA OR UNLIMITED*	MAXIMUM BUILDING AREA*
LEVEL 1	28 500	50 000	
LEVEL 2	28 500	50 000	
LEVEL 3	28 500	50 000	
LEVEL 4	21 300	50 000	
TOTAL	106 800		200 000

PROJECT LOCATION / CONTACT

HOLLY SPRINGS TOWN CENTER
 HOLLY SPRINGS GEORGIA 30115

INDEX OF DRAWINGS

A0 COVER SHEET

ARCHITECTURAL

- A11 P1 - PLAN LAYOUT
- A12 P2 - PLAN LAYOUT
- A13 P3 - PLAN LAYOUT
- A14 P4 - PLAN LAYOUT
- A21 SOUTH/NORTH ELEVATIONS
- A22 EAST/WEST ELEVATIONS
- A23 STAIR TOWER A" SOUTH/EAST ELEVATIONS / DETAILS
- A24 STAIR TOWER B" WEST/SOUTH ELEVATIONS / DETAILS
- A31 STAIR TOWER A" PLANS
- A32 STAIR TOWER B" PLANS
- NFPA 01 ADA STANDARDS
- NFPA 02 ADA STANDARDS

SCOPE OF WORK

1 Proposed 4 Level Open Parking Deck

PLAN REVISIONS



BUILDING HEIGHT

	ALLOWABLE (TABLE 406.5.4)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
TYPE OF CONSTRUCTION	TYPE IIA	TYPE IIA		
BUILDING HEIGHT IN FEET	10 TIERS	FEET+ H + 20 =	57 -7"	TABLE 406.5.4
BUILDING HEIGHT IN STORIES	10 TIERS	STORIES + 1 =	4 TIERS	TABLE 406.5.4

CODES & STANDARDS

- 2018 - (IBC) International Building Code with 2020 Amendments
- 2018 - (IRC) International Residential Code with 2020 IRC Amendments
- 2018 - International Fire Code
- 2018 - International Plumbing Code with 2020 Amendments
- 2018 - International Mechanical Code with 2020 Amendments
- 2018 - International Fuel Gas Code with 2020 Amendments
- 2017 - (NEC) National Electric Code
- 2015 - (IECC) International Energy Conservation Code with 2020 Georgia Supplements and Amendments
- 2018 - International Swimming Pool and Spa Code with 2020 Georgia Amendments
- 2018 - NFPA 101 Life Safety Code

PROJECT TEAM

Architect
 Caldwell Cline Architects
 222 Crescent Circle
 Marietta Georgia 30064
 (770) 424-3882
 Contact Roger Caldwell
 roger@caldwellcline.com

Civil Engineer
 Southeastern Engineering Inc.
 Contact Kevin Clark
 tel (770) 321-3936
 kclark@seengineering.com

**Electrical - Fire Alarm
 Mechanical - Sprinkler-Standpipe**
 Newcomb & Boyd
 Contact Matt Eason
 tel (404) 730 8555
 MEason@newcomb-boyd.com

Structural - Retaining Walls
 Kimley - Horn
 Contact Jason Manners
 tel (404) 900-7012
 Jason.Manners@kimley-horn.com

Authorized Agent
 Charles D Heiser Jr
 625 W Crossville Rd #204
 Roswell Georgia 30075
 (678) 426-5300
 cheiserjr@stonecresthomesga.com



CALDWELL • CLINE
 ARCHITECTS • DESIGNERS

222 Crescent Circle Marietta GA 30064
 Phone 770 424 3888 Fax 770 424 3377
 www.caldwellcline.com

The owner or the party of record shall maintain the seal and stamp for the use of the engineer or architect and shall be responsible for the return of the seal and stamp to the engineer or architect upon completion of the project.

NOTE: The engineer or architect shall be responsible for the return of the seal and stamp to the engineer or architect upon completion of the project.

1) Seal and stamp shall be used only for the project for which it was issued.

2) Seal and stamp shall be used only for the project for which it was issued.

3) Seal and stamp shall be used only for the project for which it was issued.

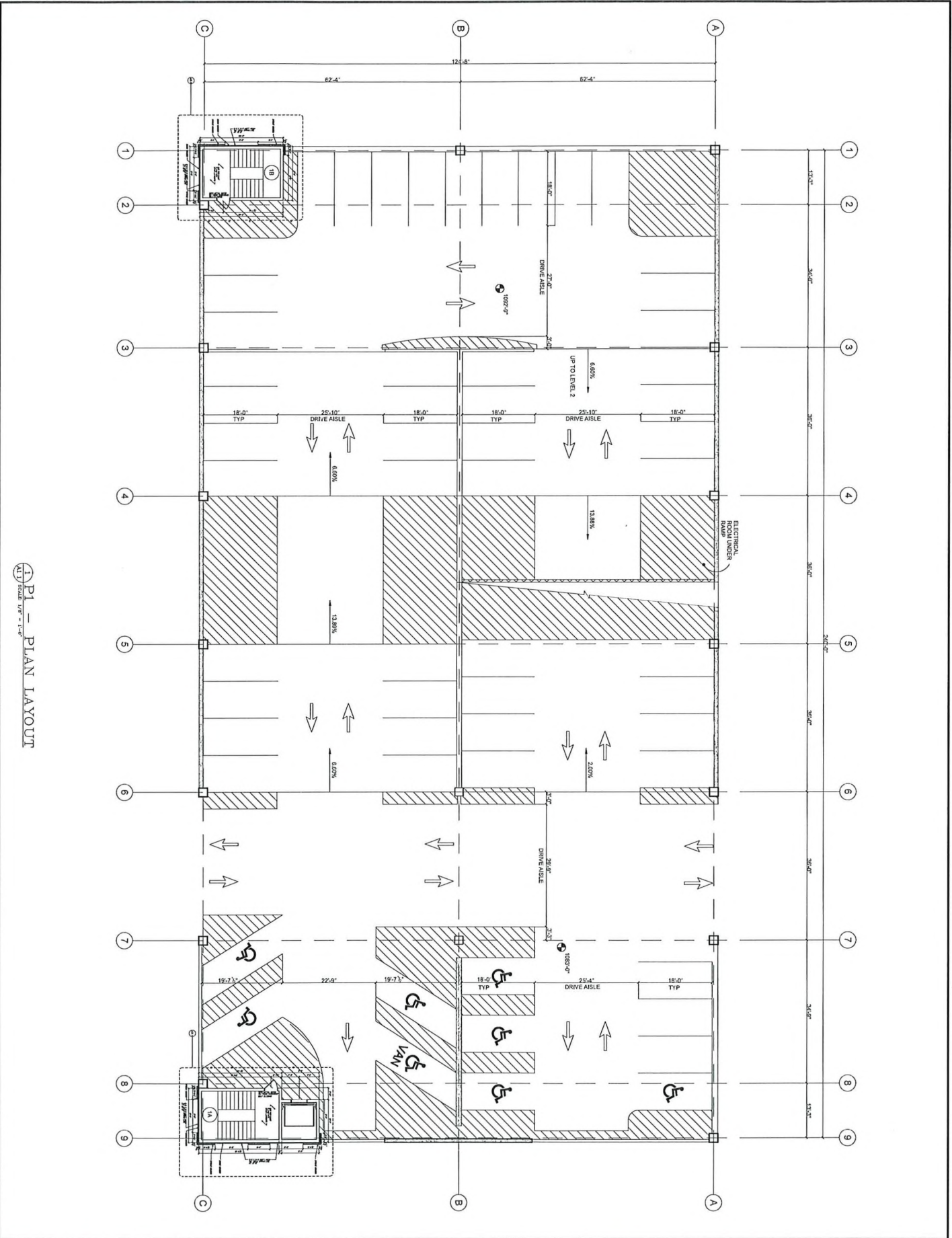
All copies of a seal or stamp shall be returned to the engineer or architect upon completion of the project.

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DATE	PROJECT NUMBER
01-10-24	220105
DRAWN BY	CHECKED BY
JLC	



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 COVER SHEET
 SHEET
 A0



P1 - PLAN LAYOUT

ISSUED FOR
PROJECT
A1.1

01-10-24
JLC
DATE
PROJECT

1) THESE DRAWINGS ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN.
2) ANY CHANGES TO THESE DRAWINGS MUST BE APPROVED BY CALDWELL & CLINE ARCHITECTS & DESIGNERS.
3) THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF CALDWELL & CLINE ARCHITECTS & DESIGNERS.

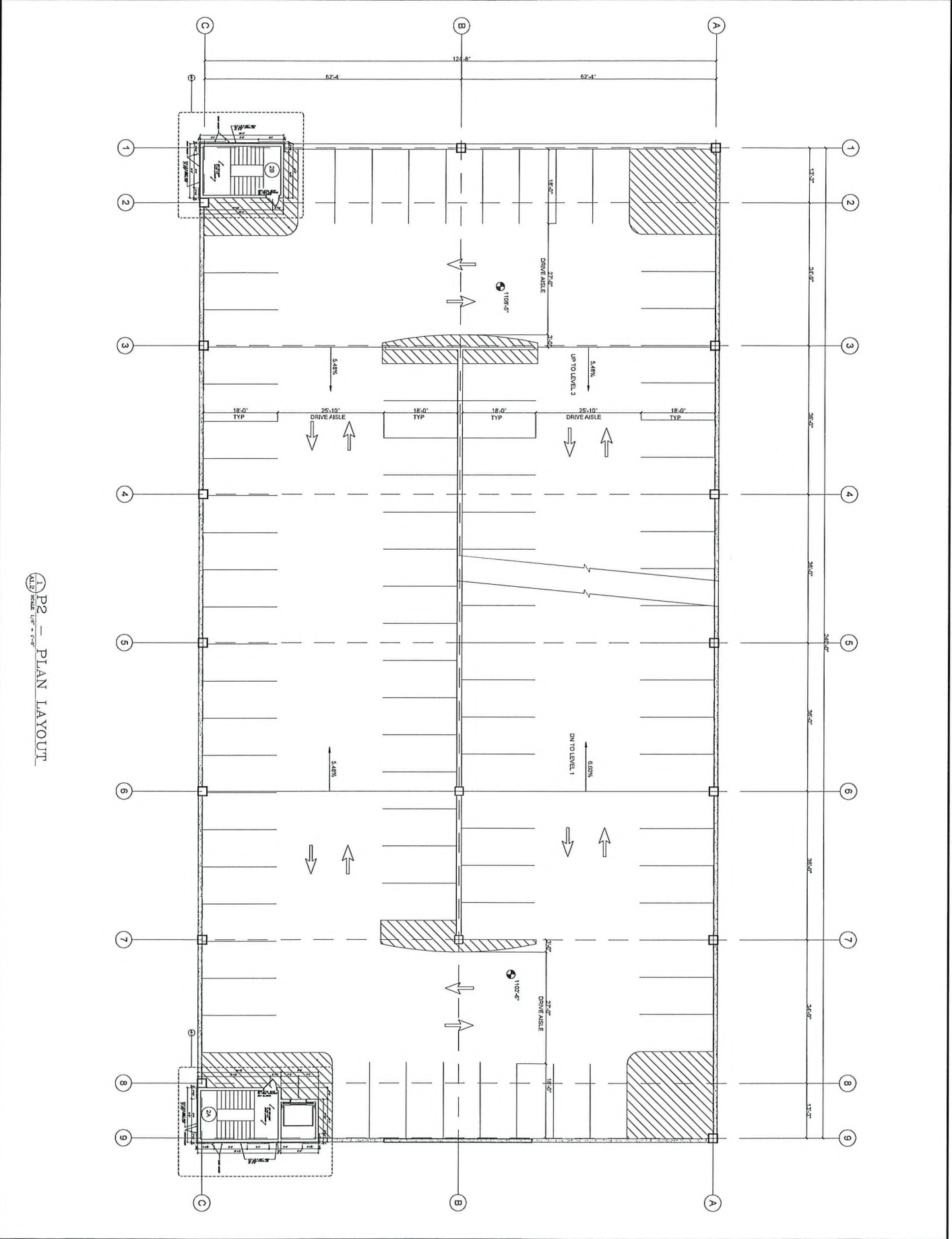
CALDWELL & CLINE
ARCHITECTS & DESIGNERS

222 Crescent Circle - Marietta, GA 30064
Phone 770-424-3882 - Fax 770-424-2377
www.caldwellcline.com



HOLLY SPRINGS
PARKING DECK
HOLLY SPRINGS, GEORGIA 30142

PROJECT



P2 - PLAN LAYOUT
 SCALE: 1/8" = 1'-0"

ISSUED FOR PERMIT
 PROJECT: AT.2

DATE	DESCRIPTION
01-10-14	PROJECT MEETING
01-10-14	2503103
01-10-14	EXTENSION
DATE	DESCRIPTION
01-10-14	MEETING

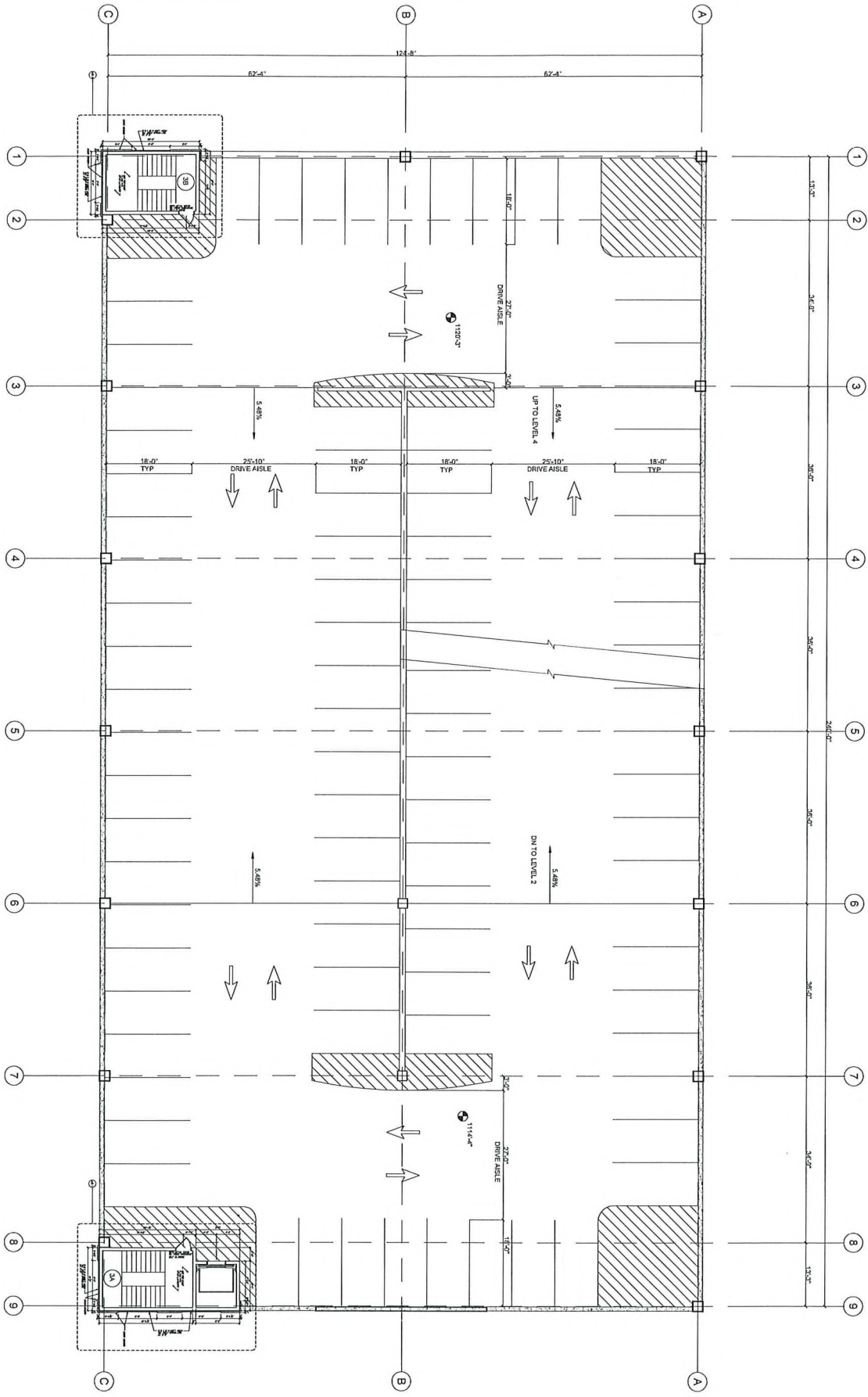
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HOLLY SPRINGS
 PARKING DECK
 HOLLY SPRINGS, GEORGIA 30142

PROJECT



P3 - PLAN LAYOUT
 SCALE: 1/8" = 1'-0"

ISSUED FOR PERMIT
 DATE: 01-10-14
 AT 3

PROJECT SHEET
 DATE: 01-10-14
 SHEET NO.: 220105
 DRAWN BY: JLC
 CHECKED BY: [Blank]

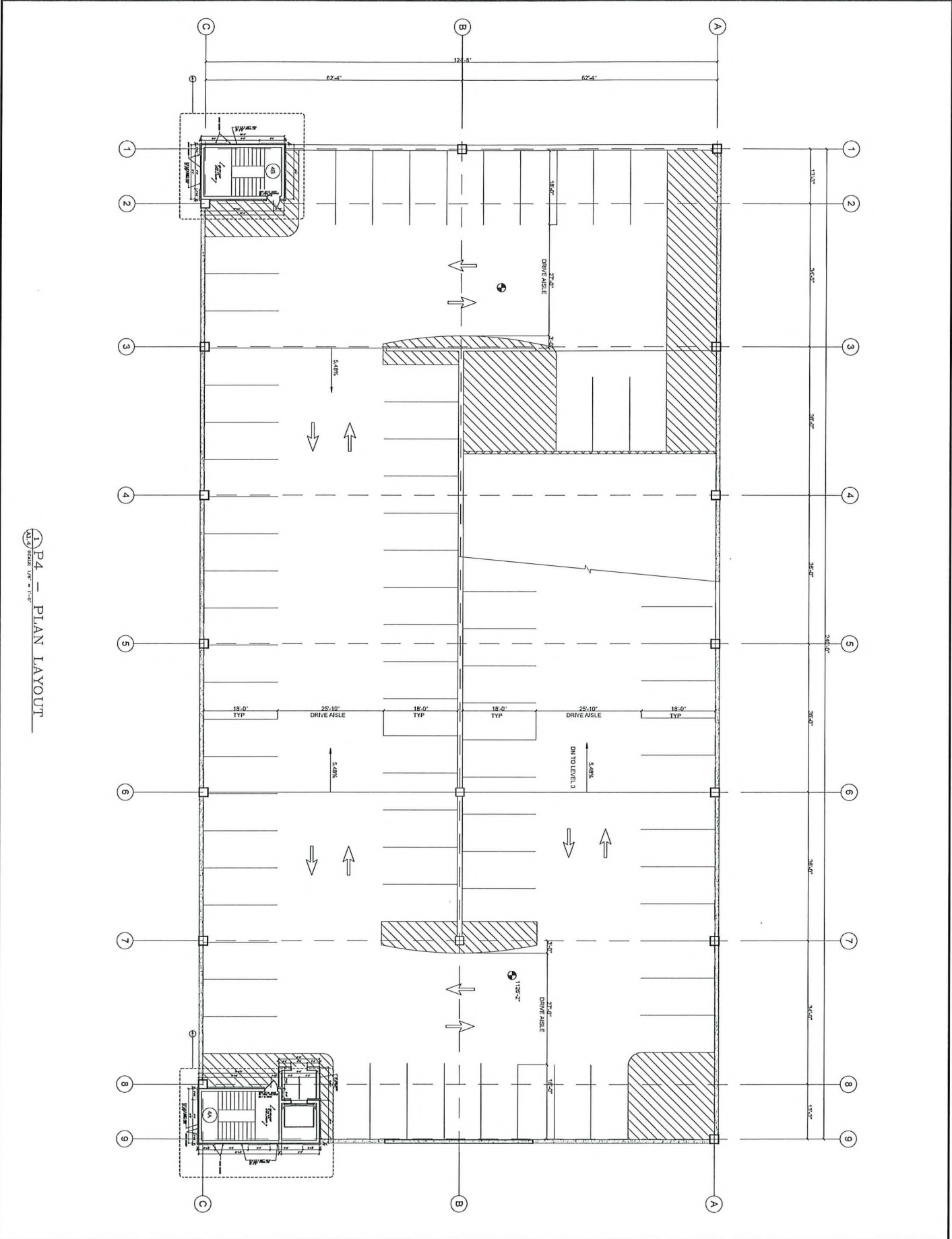
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HOLLY SPRINGS
PARKING DECK
 HOLLY SPRINGS, GEORGIA 30142

PROJECT



1 P4 - PLAN LAYOUT
 SCALE: 1/8" = 1'-0"

ISSUED FOR PROJECT A1.4

01-11-24
 JLC
 PROJECT

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HOLLY SPRINGS
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PROJECT

PROJECT

HOLLY SPRINGS
PARKING DECK
HOLLY SPRINGS, GEORGIA 30142



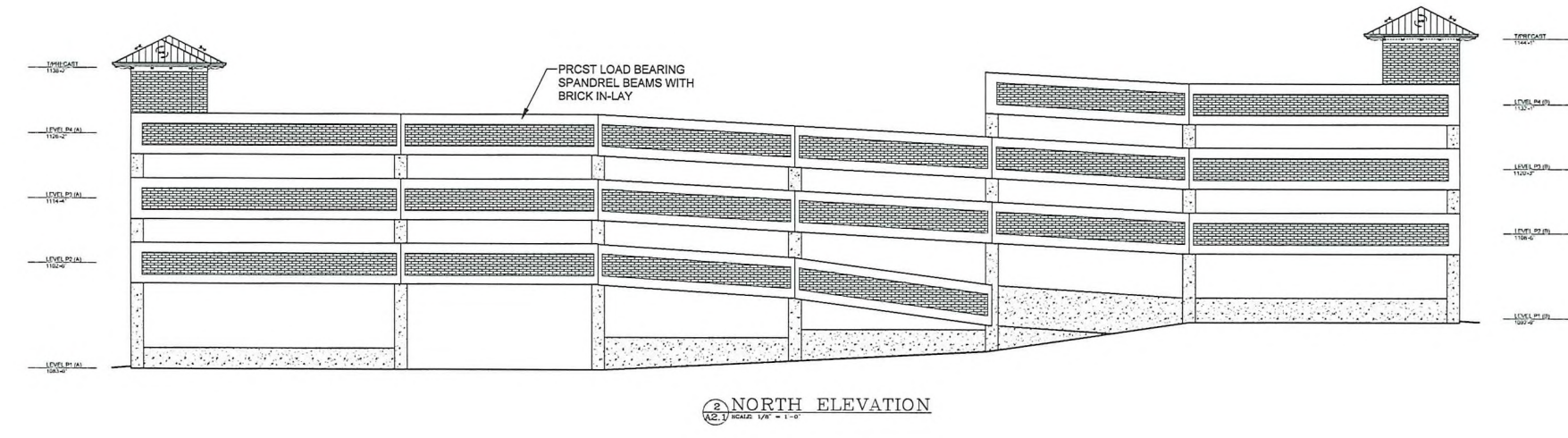
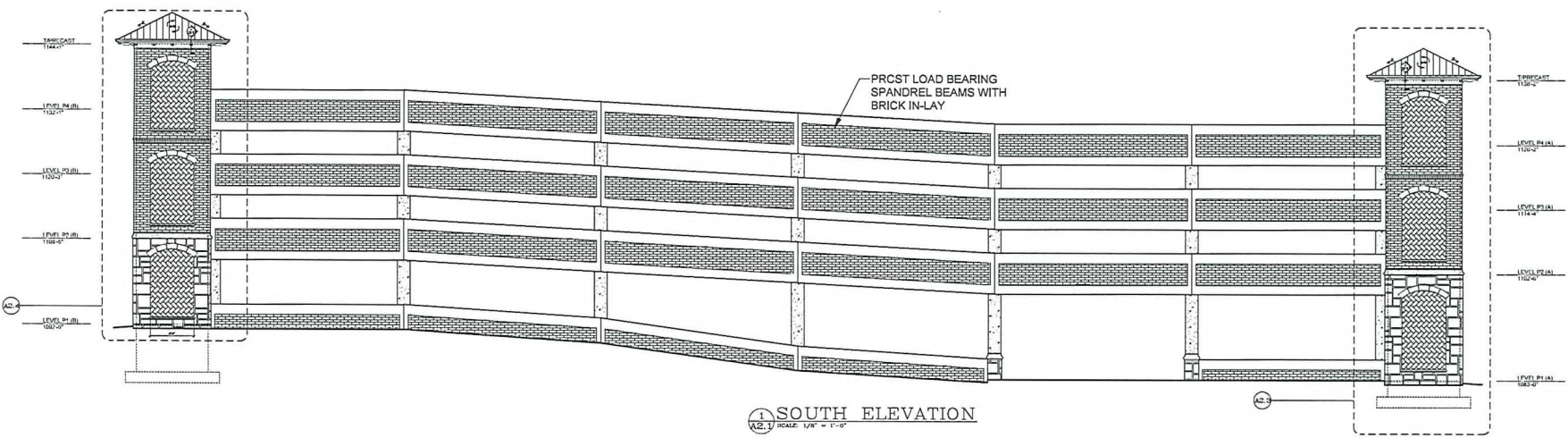
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222 Commercial Circle - Marietta, GA 30064
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1) Contractor shall verify all dimensions and quantities with the architect prior to construction.
2) The user of this project is to be the contractor.
3) Plans shall be submitted to the appropriate local authority for review and approval as required.
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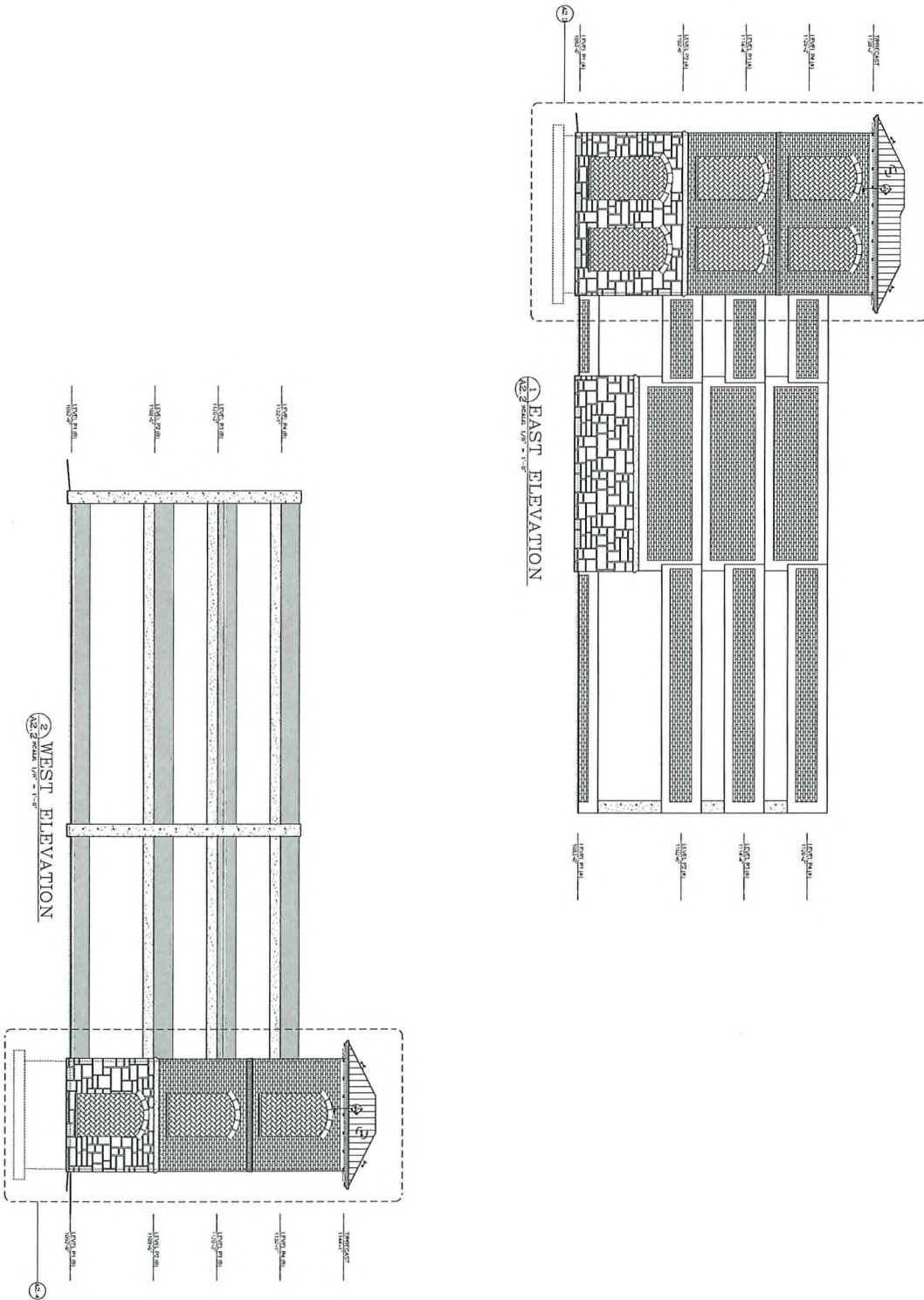
DATE	PROJECT NUMBER
01-10-24	220105
DESIGN BY	REVISIONS
JLC	
CHECKED BY	



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SHEET
A2.1



1/27/24 1:24 PM I:\Projects\2024\220105\Drawings\A2.1.dwg



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A2.2

STATE OF GEORGIA
 PROFESSIONAL ARCHITECTS BOARD
 01/26/2011

PROJECT SHEET
 01-10-24
 250105

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HOLLY SPRINGS
PARKING DECK
 HOLLY SPRINGS, GEORGIA 30142

PROJECT



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PLEASE NOTE: Caldwell Cline Inc. assumes no liability for any omissions or errors in these drawings. It is the responsibility of the user to verify all dimensions and conditions prior to construction.

- 1) Contractor shall verify all dimensions prior to construction.
- 2) Contractor shall verify all conditions with the LOCAL BUILDING DEPT. prior to construction.
- 3) These drawings are not to be used for any other project without the written consent of Caldwell Cline Inc.

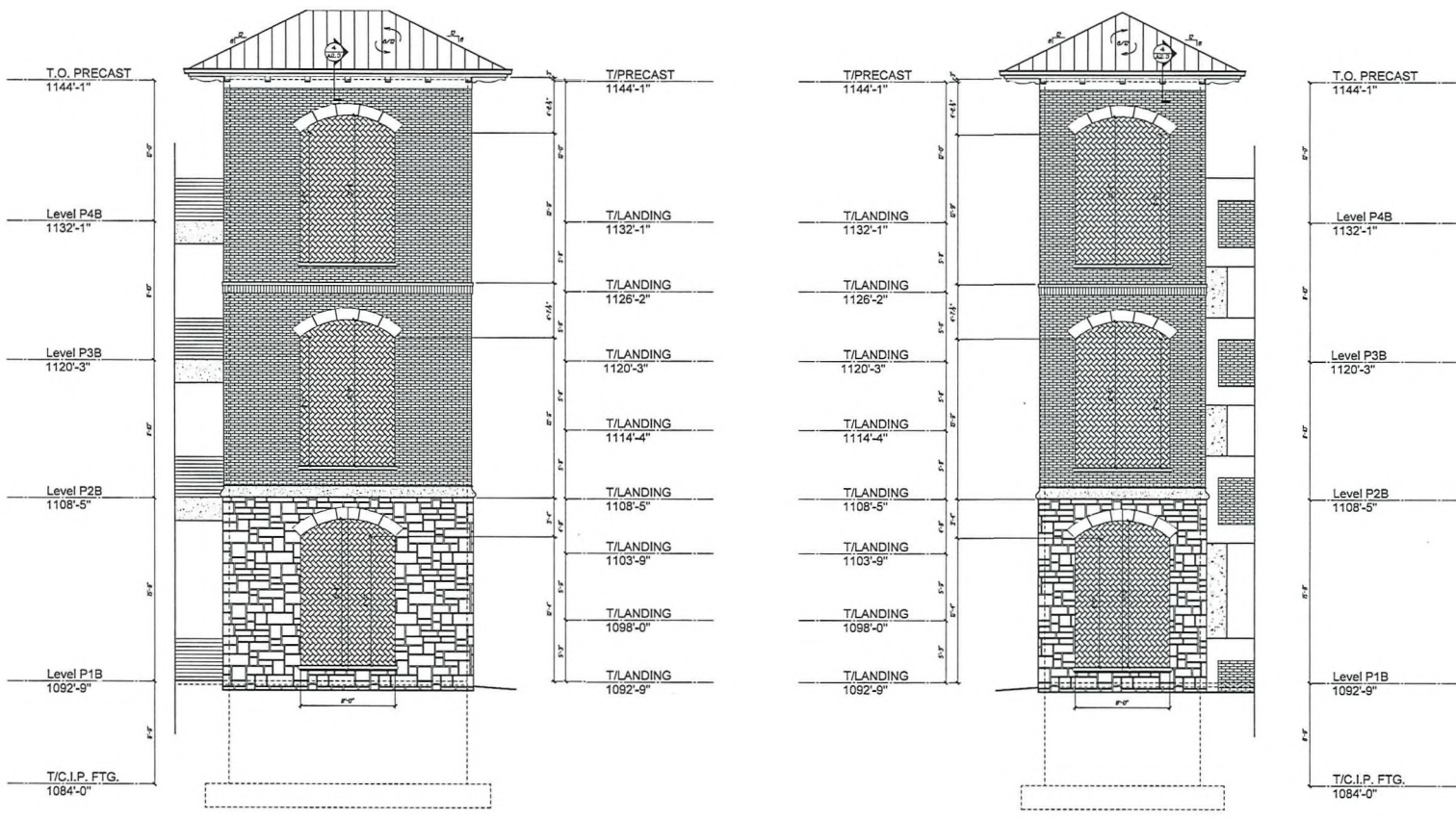
All drawings or modifications to the drawings shall be issued and approved by Caldwell Cline Inc. prior to construction.

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DATE:	PROJECT NUMBER:
01-10-24	220105
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JLC	
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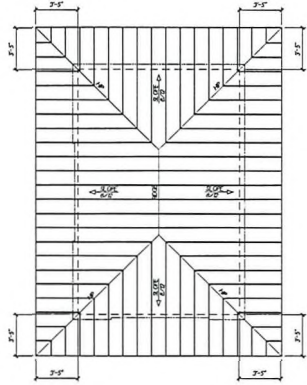


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SHEET
A2.4



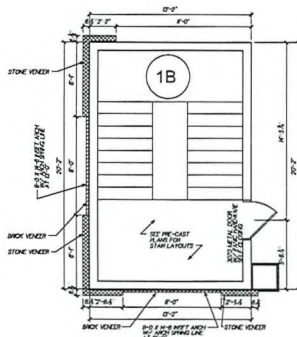
① STAIR TOWER "B" WEST ELEVATION
SCALE: 1/4" = 1'-0"

② STAIR TOWER "B" SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

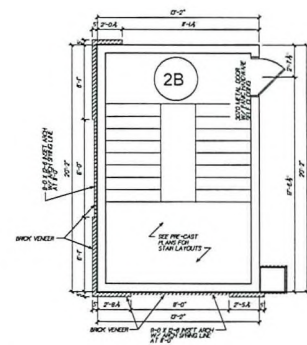


③ STAIR & ELEVATOR TOWER ROOF B - PLAN
SCALE: 1/4" = 1'-0"

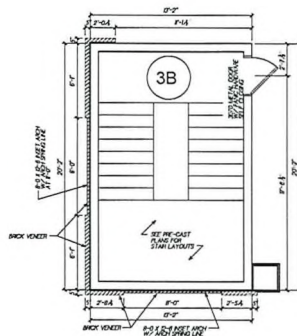
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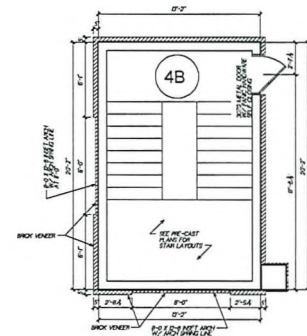
1 STAIR & ELEVATOR TOWER P1B - PLAN
 A3.2 SCALE: 1/4" = 1'-0"



2 STAIR & ELEVATOR TOWER P2B - PLAN
 A3.2 SCALE: 1/4" = 1'-0"



3 STAIR & ELEVATOR TOWER P3B - PLAN
 A3.2 SCALE: 1/4" = 1'-0"



4 STAIR & ELEVATOR TOWER P4B - PLAN
 A3.2 SCALE: 1/4" = 1'-0"

PROJECT

HOLLY SPRINGS
 PARKING DECK
 HOLLY SPRINGS, GEORGIA 30142



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 2) Contractor must verify conditions with ALL LOCAL BUILDING CODES.
 3) All drawings are subject to change without notice.
 4) All materials and methods to be used must be approved by Caldwell & Cline, Inc. prior to construction.
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WORK: 01/26/2024 11:56:00 AM IN: D:\Projects\2024\HollySprings\220105\Drawings

COHS - Parking Deck

EXTERIOR SELECTIONS	
PAINT:	
TRIM	SW 6385 Dover White
WOOD ACCENT BRACKETS	SW 3542 Chestnut
PAINTED BRICK PANELS	SW 7017 Dorian Gray
GUTTERS & DOWNS	Dark Bronze
MASONRY:	
BRICK	General Shale - River Shoals - Queen
MORTAR	Argos Ivory Buff
STONE	Elberton Granite Rubble Stone
ROOFING:	
METAL	24 ga Standing Metal Seam Color: Dark Bronze

CALDWELL ♦ CLINE
ARCHITECTS DESIGNERS

ROGER L. CALDWELL, AIA

September 9, 2025

Charles,

I went by the parking deck this morning to review the colors we discussed on the parking deck. I like the color applied in the location in the photo below.

All of the areas that have the stamped brick pattern should receive this color and the remainder of the natural concrete would remain unpainted.

I hope this is clear but let me know if you need additional information.



Sincerely,

Roger Caldwell, AIA

222 CRESCENT CIRCLE MARIETTA GA 30064
TEL. (770) 424-3882 Fax. 678-668-8930

**City of Holly Springs
Downtown Development Authority of Holly Springs Minutes
August 20, 2025**

Authority Members Present: Chairman Ollie Evans, Vice Chairman Scott Owen, Secretary Andrea Johnston, Treasurer Maggie Grayeski, and Councilman Kyle Whitaker.

Authority Members Not Present: Authority Member Ryan Smith and Authority Member Steven Miller.

Staff Present: City Manager Robert H. Logan, Community Development Director Nancy Moon, and Communications & External Affairs Director Erin Honea.

I. CALL TO ORDER

Chairman Evans called the Downtown Development Authority of Holly Springs Meeting to order.

II. OLD BUSINESS

- A. Certificate of Appropriateness (CA-02-2025) for the Holly Springs Town Center Parking Deck located at 189 Timothy Downing Drive, Holly Springs, GA, tax parcel 103 of tax plat 15N14.

Chairman Evans made a motion to defer this item. Vice Chairman Owen seconded the motion. Motion carried. Yes 5, No 0, Abstained 0.

III. NEW BUSINESS

- A. Proposal dated July 9, 2025, from Foresite Group, LLC for Professional Design Services to Add Service #6 Town Center Hardscape/Landscape/ Electrical/AV Phasing Plans as shown in Exhibit "A", in an amount not to exceed \$15,600.

Vice Chairman Owen made a motion to approve. Treasurer Grayeski seconded the motion. Motion carried. Yes 5, No 0, Abstained 0.

- B. August 4, 2025 Downtown Development Authority of Holly Springs Meeting minutes.

Vice Chairman Owen made a motion to approve the minutes. Chairman Evans seconded the motion. Motion carried. Yes 5, No 0, Abstained 0.

- C. A Loan Commitment Letter to Holly Springs Senior Housing, LLC (Borrower) extending certain loan financing to Borrower and authorize the Chairman to execute the letter upon approval of the City Attorney.

Vice Chairman Owen made a motion to approve. Treasurer Grayeski seconded the motion. Motion carried. Yes 5, No 0, Abstained 0.

IV. REPORTS

City Manager Robert H. Logan reminded Authority members that the Groundbreaking Ceremonies for the amphitheatre and city hall projects will be on September 3, 2025 and October 6, 2025, respectively.

V. ADJOURNMENT

Chairman Evans made a motion to adjourn the meeting. Vice Chairman Owen seconded the motion. Motion carried. Yes 5, No 0, Abstained 0.

Respectfully Submitted.

Ollie Evans, Chairman

Erin Honea, Communications & External Affairs Director

ITEM REPORT

AGENDA ITEM NUMBER: III.B.



FROM: Robert H. Logan, City Manager

MEETING DATE: September 17, 2025

AGENDA ITEM: Invoice #59564 from Cherokee County Chamber of Commerce for the Authority's Annual Membership Investment in an amount not to exceed \$340.

EXECUTIVE SUMMARY:

Invoice #59564 from Cherokee County Chamber of Commerce for the Authority's Annual Membership Investment in an amount not to exceed \$340.

FISCAL IMPACT:

\$340

ATTACHMENTS:

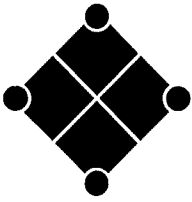
1. 2025 Cherokee Chamber Annual Investment

RECOMMENDATION:

Not applicable.

CONCURRENCES:

Not applicable.



CHEROKEE COUNTY CHAMBER OF COMMERCE

connecting • creating • cultivating

INVOICE

Cherokee County Chamber of Commerce
P.O. Box 4998
Canton GA 30114

Phone: 770-345-0400
Fax: 770-345-0030
Website: <https://www.CherokeeChamber.com>
Email: Operations@CherokeeChamber.com

Downtown Development Authority of Holly Springs
Dr. Ollie Evans
P.O. Box 990
Holly Springs GA 30142

Date: 04/01/2025
Invoice #: 59564
Due: 05/01/2025
Member #: 8478

Description	Quantity	Rate	Amount
Annual Membership Investment	1	\$340.00	\$340.00
		Sub Total:	\$340.00
		Balance:	\$340.00

Chamber of Commerce membership dues may be tax deductible as an ordinary and necessary business expense. Dues paid to the Chamber are not a charitable tax deduction for federal income tax purposes. The Chamber is not a charity: it is an advocate for area businesses.

Keep this portion for your records.

Please return this portion with your payment.

Downtown Development Authority of Holly Springs
Dr. Ollie Evans
P.O. Box 990
Holly Springs GA 30142

Date: 04/01/2025
Invoice #: 59564
Due: 05/01/2025
Member #: 8478

Cherokee County Chamber of Commerce
P.O. Box 4998
Canton GA 30114

Amount Due: **\$340.00**