



City of Holly Springs

Date: Wednesday, June 21, 2023
Location: 3235 Holly Springs Parkway

Downtown Development Authority of Holly Springs Business Meeting Agenda 6:00 p.m.

I. CALL TO ORDER

II. NEW BUSINESS

- A. Discuss and approve/deny Vertical Earth change order #7b for additional site work in the Town Center on the former site of 411 Hickory Road in an amount not to exceed \$2,043,027

Presented by: Robert H. Logan, City Manager

- B. Discuss and approve/deny Vertical Earth change order #8 for the Cotton Barn concrete apron demo and haul off in an amount not to exceed \$1,725

Presented by: Robert H. Logan, City Manager

- C. Discuss and approve/deny Vertical Earth change order #9 for additional conduit for future landscaping, irrigation and lighting in Town Center in an amount not to exceed \$106,734

Presented by: Robert H. Logan, City Manager

- D. Discuss and approve/deny the General Contractor Agreement, Contract #005-2023, among Stonecrest Homes GA, LLC, the City of Holly Springs, Georgia and the Downtown Development Authority of Holly Springs for renovations to the Train Depot in an amount not to exceed \$56,897 and authorize the Chairman and Secretary to execute the Agreement

Presented by: Robert H. Logan, City Manager

- E. Discuss and approve/deny Cherokee County Chamber of Commerce annual membership, Invoice #51669 in an amount not to exceed \$305

Presented By: Robert H. Logan, City Manager

- F. Discuss and approve/deny CA-01-2023, Certificate of Appropriateness for a dental office located at 2720 Holly Springs Parkway, Holly Springs, Georgia, tax parcel 061A of tax plat 93N00

Presented By: Nancy Moon, Community Development Director

- G. Approve/deny May 17, 2023 meeting minutes

III. REPORTS

IV. ADJOURNMENT

Contractor: Vertical Earth
Phone:
Contact: Leah Horne/Kate Rieling

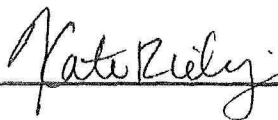
Job: Holly Springs Mixed-Us
Phase: Town Center
Date: May 19, 2023

THIS IS NOT AN INVOICE

Cost Code	Work Description	Qty		Unit Price	Total
	Town Center				
2-4-02-02	General Conditions	1	LS	119,575.12	\$ 119,575.12
2-4-02-02	Bond	1	LS	10,310.00	\$ 10,310.00
2-4-02-07	Grading	1	LS	262,943.60	\$ 262,943.60
2-4-03-01	Sanitary	1	LS	75,805.27	\$ 75,805.27
2-4-05-01	Storm	1	LS	336,068.29	\$ 336,068.29
2-4-06-01	Water	1	LS	28,384.77	\$ 28,384.77
2-4-07-01	Curb, HC Ramps, & Flatwork	1	LS	28,368.55	\$ 28,368.55
2-4-08-01	Paving	1	LS	697,771.23	\$ 697,771.23
2-4-04-02	Walls	1	LS	512,698.90	\$ 512,698.90
1-2-04-07	Sidewalk Improvement Credit	-1	LS	28,899.00	\$ (28,899.00)

Total \$ 2,043,026.73

Vertical Earth



5-22-2023

Date

Downtown Development Authority of Holly Springs

Date

Steven W. Miller, Mayor

Date

Attest:

Karen Norred, City Clerk
(Seal)

Date

5/18/2023 Vertical Earth
Change Order #7b

TOWN CENTER

2-4-02-02	General Conditions	450	DAY	460	19	\$	207,087	49	232	DAY	515.41	\$	119,575.12	\$	119,575.12	
	Bond											\$	10,310.00	\$	10,310.00	
2-4-02-07	Grading Complete Add	Original Qty		Original Unit Rate			Original \$		New Qty		New UR		New \$		Net Change	
	Onsite Grading	135,600	CY	\$	3.35	\$	454,260.00		173,978	CY	\$	3.35	\$	582,826.30	\$	128,566.30
	Finish Grading	275,257	SF	\$	0.45	\$	123,865.65		301,529	SF	\$	0.45	\$	135,688.05	\$	11,822.40
	Backfill Curb	6,285	LF	\$	2.72	\$	17,095.20		7,498	LF	\$	2.70	\$	20,244.60	\$	3,149.40
	Remove and place unsuitables								3,227	CY	\$	4.00	\$	12,908.00	\$	12,908.00
	Import "free dirt" from other City Project								3,530	CY	\$	1.75	\$	6,177.50	\$	6,177.50
	Import October dirt from Hwy 20								5,280	CY	\$	19.00	\$	100,320.00	\$	100,320.00
	sub-total						\$	595,220.85					\$	858,164.45	\$	262,943.60

2-4-03-01	Sanitary Sewer Add				Original Qty			Original Unit Rate			Contract Sum			New Qty		New UR		New \$		Net Change		
	ASI Change Order 4																					
	Deduct HS2 38 1 material already delivered, labor credit only	1	EA	\$				920.00	\$		(920.00)								\$	(920.00)		
	1500 Gallon Grease Traps Complete	14	EA	\$				5,175.00	\$		72,450.00			10	EA	\$	5,175.00	\$	51,750.00	\$	(20,700.00)	
	Test Manholes	14	EA	\$				920.00	\$		12,880.00			10	EA	\$	920.00	\$	9,200.00	\$	(3,680.00)	
	6" Dumpster Drains													2	EA	\$	4,111.00	\$	8,222.00	\$	8,222.00	
	ASI Change Order 7																					
	6" SDR-35 bedded in stone													45	LF	\$	105.35	\$	4,740.75	\$	4,740.75	
	6" Cleanout Assemblies													2	EA	\$	833.89	\$	1,667.78	\$	1,667.78	
	Install grease traps 2' deeper ea than previously quoted													10	EA	\$	798.10	\$	7,981.00	\$	7,981.00	
	Install test manholes at deeper depths provided in new profiles.													10	EA	\$	704.38	\$	7,043.80	\$	7,043.80	
	Adjust manhole depths on main sewer line, various													1	LS	\$	2,932.95	\$	2,932.95	\$	2,932.95	
	Material Escalation																					
	Precast structures													1	LS	\$	15,031.65	\$	15,031.65	\$	15,031.65	
	Fuel													1	LS	\$	4,025.00	\$	4,025.00	\$	4,025.00	
	Re-mobilization, changing materials, etc.													1	LS	\$	5,290.00	\$	5,290.00	\$	5,290.00	
	ASI Change Order 11																					
	Core/tie into MH HS2 37-1													1	LS	\$	2,440.01	\$	2,440.01	\$	2,440.01	
	6" SDR 35 PVC													390	LF	\$	85.10	\$	33,187.05	\$	33,187.05	
	Install Cleanouts													2	EA	\$	833.89	\$	1,667.78	\$	1,667.78	
	Add SS Structure HS2 37 3 1													1	EA	\$	2,719.12	\$	2,719.12	\$	2,719.12	
	Add 8" DIP Main to HS2 37 3 1													89	5	LF	\$	46.44	\$	4,156.38	\$	4,156.38
	sub total										\$	84,410.00						\$	162,055.27	\$	75,805.27	

2-4-05-01	Storm Drain	Original Qty	Original Unit Rate	Contract Sum	New Qty	New UR	New \$\$	Net Change
	18" CMP	25 LF	\$ 47.40	\$ 1,185.00	0 LF	\$	-	\$ (1,185.00)
	24" CMP	269 LF	\$ 63.40	\$ 17,054.60	0 LF	\$		\$ (17,054.60)
	36" CMP	154 LF	\$ 96.19	\$ 14,813.26	0 LF	\$		\$ (14,813.26)
	12" HDPE	780 LF	\$ 28.84	\$ 22,495.20	1062 LF	\$ 44.55	\$ 47,312.10	\$ 24,816.90
	18" HDPE	25 LF	\$ 43.93	\$ 1,098.25	0 LF	\$	-	\$ (1,098.25)
	15" RCP	438 LF	\$ 38.49	\$ 16,858.62	149 LF	\$ 38.49	\$ 5,735.01	\$ (11,123.61)
	18" RCP	421 LF	\$ 45.36	\$ 19,096.56	1318 LF	\$ 71.31	\$ 93,986.58	\$ 74,890.02
	24" RCP	750 LF	\$ 63.74	\$ 47,805.00	1195 LF	\$ 87.99	\$ 105,148.05	\$ 57,343.05
	30" RCP	796 LF	\$ 76.04	\$ 60,527.84	1021 LF	\$ 91.29	\$ 93,207.09	\$ 32,679.25
	36" RCP	225 LF	\$ 126.87	\$ 28,545.75	553 LF	\$ 168.09	\$ 92,953.77	\$ 64,408.02
	42" RCP	LF	\$	-	126 LF	\$ 199.72	\$ 25,164.72	\$ 25,164.72
	8" PVC	LF	\$	-	234 LF	\$ 52.53	\$ 12,292.02	\$ 12,292.02
	Trench Drain	36 LF	\$ 433.94	\$ 15,621.84	0 LF	\$		\$ (15,621.84)
	OCS Pond A	1 EA	\$ 9,082.61	\$ 9,082.61	0 EA	\$		\$ (9,082.61)
	Gabion Walls	2 EA	\$ 17,903.43	\$ 35,806.86	0 EA	\$		\$ (35,806.86)
	Bedding Stone	134 TN	\$ 50.44	\$ 6,758.96	250 TN	\$ 53.16	\$ 13,290.00	\$ 6,531.04
	Rip Rap	120 TN	\$ 54.36	\$ 6,523.20	152 TN	\$ 75.00	\$ 11,400.00	\$ 4,876.80
	Storm Inverts	1 LS	\$ 43,930.00	\$ 43,930.00	62 EA	\$ 750.00	\$ 46,500.00	\$ 2,570.00
	GDOT 1019B TYPE V 1	20 EA	\$		9 EA	\$		\$ 51,121.79
	GDOT 1011 AP	8 EA	\$		12 EA	\$	-	\$
	GDOT 1019 AP TYPE E	5 EA	\$	-	0 EA	\$	-	\$ -
	Curb Inlet	1 EA	\$	-	7 EA	\$ 5,293.06	\$ 37,051.42	\$ 37,051.42
	Junction Box	1 EA	\$	-	0 EA	\$		\$ -
	Nyoplast	8 EA	\$		9 EA	\$ 2,344.40	\$ 21,099.60	\$ 21,099.60
	GDOT 1019 AP TYPE C	4 EA	\$	-	4 EA	\$	-	\$ -
	Storm Cleanout	6 EA	\$ 652.40	\$ 3,914.40	11 EA	\$ 1,248.48	\$ 13,733.28	\$ 9,818.88
	OCS Town Center Temp Pond at MF	1 EA	\$	-	0 EA	\$		\$ -
	GDOT 1125 36" HW	1 EA	\$	-	1 EA	\$ 6,926.55	\$ 6,926.55	\$ 6,926.55
	GDOT 1125 24" HW	1 EA	\$	-	1 EA	\$	-	\$
	DGOT 1125 18" HW	1 EA	\$	-	0 EA	\$		\$ -
	Pedestal Inlet	2 EA	\$	-	11 EA	\$		\$
	Drop Inlet	1 EA	\$	-	3 EA	\$		\$ -
	GDOT 1034D DWCB	1 EA	\$		4 EA	\$	-	\$
	CDGOT 1033D	EA	\$		10 EA	\$ 800.00	\$ 8,000.00	\$ 8,000.00
	GDOT 1019 AP TYPE E	EA	\$		3 EA	\$ 800.00	\$ 2,400.00	\$ 2,400.00
	adjustment				1 LS	\$ 135.74	\$ (135.74)	\$ (135.74)
	sub total			\$ 351,117.95			\$ 636,064.45	\$ 336,068.29

2-4-06-01	Water	Original Qty		Original Unit Rate			Contract Sum		New Qty		New UR		New \$		Net Change	
	Add 2" Water Meter & Valve								2	EA	\$	2,674.00	\$	5,348.00	\$	5,348.00
	Add 1" Irrigation Meter								1	EA	\$	662.00	\$	662.00	\$	662.00
	Add 2" Cooper Water Service								115	LF	\$	69.00	\$	7,935.00	\$	7,935.00
	Add 8" Tee								2	EA	\$	805.00	\$	1,610.00	\$	1,610.00
	Add Fire Hydrant								1	EA	\$	6,814.08	\$	6,814.08	\$	6,814.08
	Add 8" DIP Water Main								37	LF	\$	63.25	\$	2,340.25	\$	2,340.25
	Add Water Sleeve								48.7	LF	\$	15.00	\$	730.50	\$	730.50
	Water Valves								1	EA	\$	901.60	\$	901.60	\$	901.60
	2" SCH 40 PVC Conduit								113.33	LF	\$	18.03	\$	2,043.34	\$	2,043.34
	Lot 19 TH East Water Service								1	LS	\$	-	\$	-	\$	-
	sub-total												\$	28,384.77	\$	28,384.77

2-4-07-01	Curb, HC Ramps, Flatwork & Paving	Originla Qty	Original Unit Rate	Contract Sum	New Qty	New UR	New \$\$	Net Change
	HC Ramps	25 EA \$	583.13 \$	14,578.25	31 EA	585 \$	18,135.00 \$	3,556.75
	Raised Pedestrian Walkway (no pavers)	7200 SF \$	8.45 \$	60,840.00	9556 SF	9.12 \$	87,150.72 \$	26,310.72
	Brick Crosswalk (no pavers)	4833 SF \$	14.87 \$	71,866.71	4127 SF	15.76 \$	65,041.52 \$	(6,825.19)
	Paver Areas filled with GAB	344 SY \$	24.99 \$	8,596.56	344 SY	28.62 \$	9,845.28 \$	1,248.72
	Dumpster Pad (6" 4000 PSI, 4' GAB)	1663 SF \$	18.48 \$	30,724.85	SF	19.71 \$	-	(30,724.85)
	Wooden Fence & Gates	585 LF \$	28.86 \$	16,883.10	LF	28.86 \$	-	(16,883.10)
	18" Curb	6842 LF \$	14.81 \$	101,330.02	6875 LF	17.08 \$	117,425.00	16,094.98
	Banded Sidewalk	0 SY \$	31.72 \$	-	87 SY	77.96 \$	6,782.52	6,782.52
	Striping	1 LS \$	10,149.00 \$	10,149.00	1 LS	13194.27 \$	13,194.27	3,045.27
	Signage and Wheelstops	1 LS \$	3,444.00 \$	3,444.00	1 LS	4477.2 \$	4,477.20	1,033.20
	Decorative Posts	1 LS \$	75,320.00 \$	75,320.00	1 LS	97916 \$	97,916.00	22,596.00
	HD Paving (10' GAB, 3" 19.5mm, tack, 2" 9.5mm)	5960 SY \$	45.62 \$	271,895.20	6323 SY	76.54 \$	483,962.42	212,067.22
	SD Paving (8" GAB, 2" 19.5mm, tack, 1.5" 9.5mm)	6844 SY \$	60.97 \$	417,278.68	7650 SY	56.9 \$	435,285.00	18,006.32
	24" Curb				1300 LF	22.16 \$	28,808.00	28,808.00
	HD Paving (10' GAB, 4" 25mm, 2" 19.5mm, tack, 1.5" 9.5mm)				3812 SY	94.64 \$	360,767.68	360,767.68
	Thermo Striping				1 LS	19005 \$	19,005.00	19,005.00
	15% Markup on Curb, Pave and Striping				1 LS	61250.54 \$	61,250.54	61,250.54
	sub total			\$ 1,082,906.37			\$ 1,809,046.15	\$ 726,139.78

Walls

		Originla Qty	Original Unit Rate	Contract Sum	New Qty	New UR	New \$\$	Net Change
1	CIP	1234 SF	116.18 \$	143,370.50	1024 SF	147.45 \$	150,988.80	7,618.30
2	CIP	300 SF	129.09 \$	38,728.45	643 SF	147.45 \$	94,810.35	56,081.90
3	CIP	260 SF	126.82 \$	32,973.20	312 SF	147.45 \$	46,004.40	13,031.20
4B	CIP	1285 SF	162.44 \$	208,740.60	1568 SF	184.99 \$	290,064.32	81,323.72
5	CIP	1331 SF \$	132.04 \$	175,748.99	0 SF	\$	-	(175,748.99)
6	CIP	1607 SF \$	124.31 \$	199,769.91	0 SF	\$	-	(199,769.91)
8	CIP	286 SF \$	131.51 \$	37,610.52	0 SF	\$	-	(37,610.52)
	CIP Wall Foundation Drains	1128 LF \$	26.95 \$	30,399.60	480 LF \$	35.00 \$	16,800.00	(13,599.60)
	CIP Wall Fence	1128 LF \$	137.20 \$	154,761.60	233 LF \$	77.83 \$	18,134.39	(136,627.21)
	Wall Layout	1128 LF \$	1.98 \$	2,233.44	480 LF \$	1.98 \$	950.40	(1,283.04)
4A	Modular Block	2260 SF \$	24.58 \$	55,550.80	1953 SF \$	28.58 \$	55,816.74	265.94
4A	Testing and Certification	1 LS \$	1,690.00 \$	1,690.00	1 LS \$	1,690.00 \$	1,690.00	-
4A	Fence	446 SF \$	137.20 \$	61,191.20	232 LF	\$	-	(61,191.20)
4A	Footing Finegrading	1 LS \$	8,387.34 \$	8,387.34	1 LS	\$	-	(8,387.34)
4A	Over Excavation and Replace				1 LS \$	7,380.00 \$	7,380.00	7,380.00
	Wall 11 (modular block)				5204 SF \$	31.05 \$	161,584.20	161,584.20
	Wall 11 Over Excavate and Replace				1 LS \$	3,341.97 \$	3,341.97	3,341.97
	Wall 12 (modular block)				6778 SF \$	31.05 \$	210,456.90	210,456.90
	Wall 13 (modular block)				3717 SF \$	31.05 \$	115,412.85	115,412.85
	Wall 14 (CIP)				2138 SF \$	98.55 \$	210,699.90	210,699.90
	Engineering & Revisions				1 LS \$	1,914.06 \$	1,914.06	1,914.06
	Footing Excavation				1 LS \$	9,600.00 \$	9,600.00	9,600.00
	Remove Spoils				1 LS \$	4,000.00 \$	4,000.00	4,000.00
	Granty Veneer & Cap				2138 SF \$	30.48 \$	65,166.24	65,166.24
	Testing and Certification				1 LS \$	1,800.00 \$	1,800.00	1,800.00
	Vertical Surveying				220 LF \$	1.98 \$	435.60	435.60
Wall 15					1873 SF \$	98.23 \$	183,984.79	183,984.79
	Engineering & Revisions				1 LS \$	412.50 \$	412.50	412.50
	Footing Excavation				1 LS \$	7,350.00 \$	7,350.00	7,350.00
	Remove Spoils				1 LS \$	3,200.00 \$	3,200.00	3,200.00
	Granty Veneer & Cap				1873 SF	\$	-	-
	Testing and Certification				1 LS \$	1,425.00 \$	1,425.00	1,425.00
	Vertical Surveying				218 LF \$	1.98 \$	431.64	431.64
	sub total			\$ 1,151,156.15				\$ 512,698.90

Sidewalk Improvement Project (Credit)

Contract

\$ 1,151,139.15

-1 LS 28899 \$ (28,899.00) \$ (28,899.00)

Grand Total

\$ 2,043,026.73



Vertical Earth
6025 Matt Highway
Cumming, GA 30028
770-888-2224 Office

CO#8

SITE: Holly Springs Mixed Use
Holly Springs, GA

DATE: 05/19/2023

SCOPE OF WORK: Cotton Barn Concrete Apron Demo & Haul Off

Description	Quantity	Unit Rate	Total Amount
Demo & Haul Off Concrete Apron	1 LS	\$ 1,500.00	1,500.00
		Subtotal	\$ 1,500.00
		15% Markup	\$ 225.00
		Total Cotton Barn Demo	\$ 1,725.00

Vertical Earth, Inc.

Kate Riley

Date: 5/19/2023

City of Holly Springs

Robert H. Logan

Date: 5/19/2023



Vertical Earth
6025 Matt Highway
Cumming, GA 30028
770-888-2224 Office

CO #9

SITE: Holly Springs Mixed Use
Holly Springs, GA

DATE: 05/24/2023

SCOPE OF WORK: Additional conduit for future landscaping, irrigation, and lighting in Town Center.

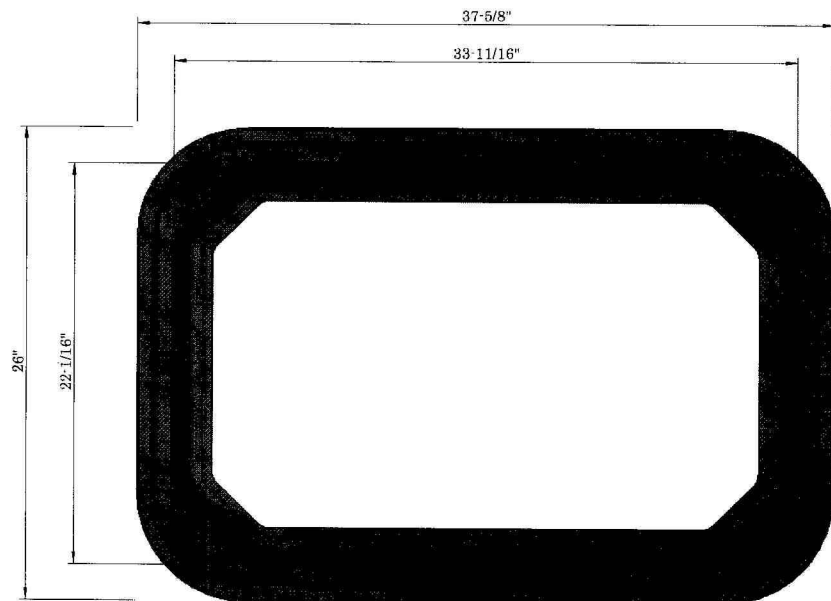
Description	Quantity	Unit Rate	Total Amount
Add			
4" Schedule 40 Conduit Sleeves	4,630 LF	\$ 10.55	\$48,846.50
6" Schedule 40 Conduit Sleeves	2,000 LF	\$18.27	\$36,540.00
24X36X36 Pull Box w/ Cover	4 EA	\$1,856.45	\$7,425.80
		Subtotal	\$ 92,812.30
		15% Markup	\$ 13,921.85
Total Additional Conduit (rounded to the nearest dollar)			\$ 106,734.00

Vertical Earth, Inc.


Date: 5/24/2023

City of Holly Springs

Date: _____



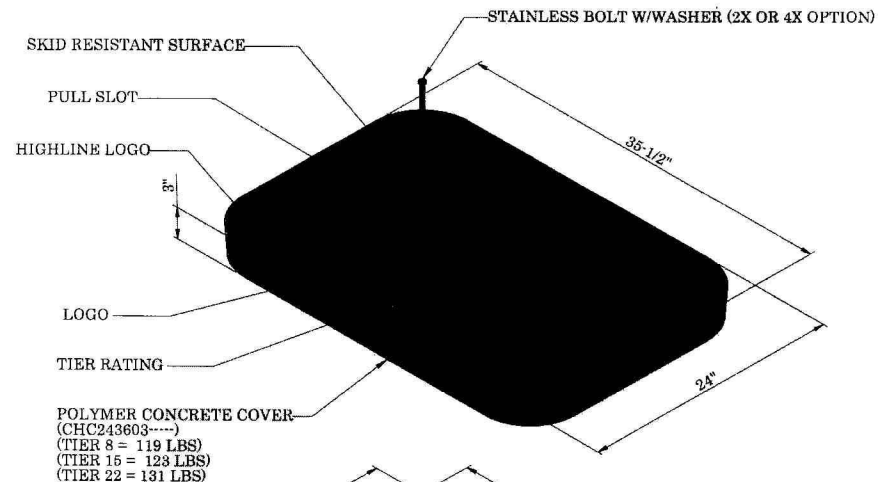
TOP VIEW OF BOX

NOTES:

1. LOGO: COMES IN A VARIETY OF STANDARD LOGOS. IE: "ELECTRIC", "WATER", "COMMUNICATIONS". CUSTOM LOGOS CAN BE PRODUCED. CONTACT CUSTOMER SERVICE FOR MORE LOGO INFORMATION (ORDERS@MACLEANHIGHLINE.COM)
2. FOR KNOCKOUTS, MOUSE HOLES, OR ANY OTHER SPECIAL REQUESTS. PLEASE CONTACT CUSTOMER SERVICE. (ORDERS@MACLEANHIGHLINE.COM)
3. CUSTOM PART NUMBER SHALL BE ASSIGNED FOR CUSTOMER SPECIFIC REQUIREMENTS.
4. ALL WEIGHTS ARE APPROXIMATE.
5. PRODUCT ASSEMBLY LABELING LISTED BELOW:

SIZE	TIER RATING	LOGO	HARDWARE
PHA243636	S= TIER 8 H = TIER 15 X = TIER 22	B00 = BLANK FLAT TOP E00 = ELECTRIC M00 = COMMUNICATIONS 300 = 2"x8"x1/4" DEEP BLANK ??? = CUSTOM LOGO OPTION	1 = 3/8" PENTA BOLT 2 = 3/8" HEX BOLT
24" WIDTH x 36" LENGTH x 36" DEPTH			

PHA243636 X E00 2



BRASS NUT ASSEMBLY

(STACKING RIB) ENABLES BOXES OF DIFFERENT HEIGHTS WITHIN THE PHB 2436 SERIES TO BE STACKED IN ANY COMBINATION.

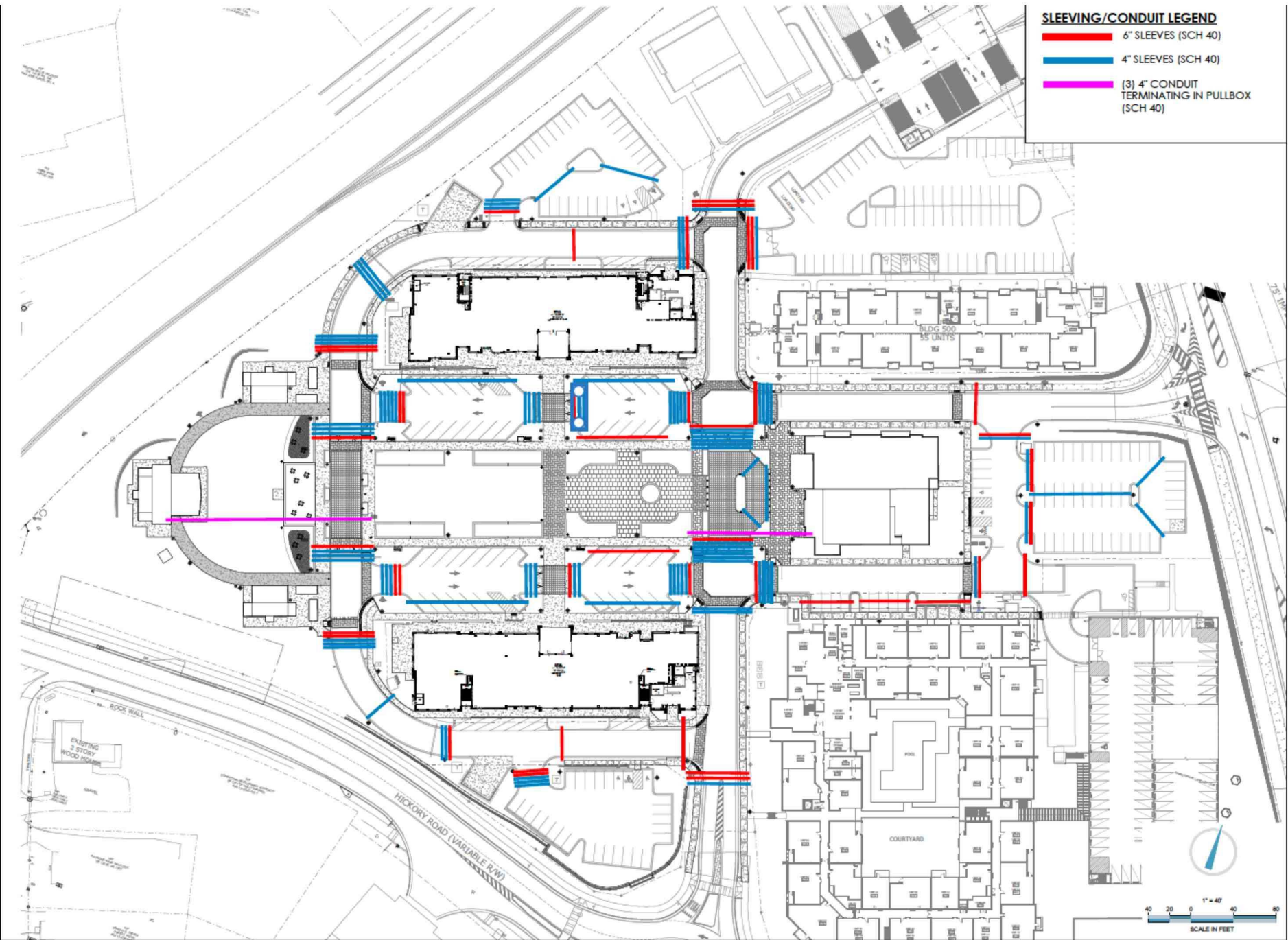
POLYMER CONCRETE BOX (PHB243636X000-) (275 LBS)

ISOMETRIC VIEW

DRAWING NUMBER: PHA243636-----		DO NOT SCALE DRAWING	
SHEET NAME: 1 OF 1		CAD GENERATED DRAWING DO NOT MANUALLY UPDATE	
DRAWING DESCRIPTION: TIER 8 (S) 8,000lbs TIER 15 (H) 15,000lbs TIER 22 (X) 22,500lbs		DESIGN DATE: 10/6/17	
DRAWING SCALE: NTS		DRAWN BY: CB	
FILE NAME: PHA243636X0002 5-30-17		CHECKED: WHO	
		APPROVED: WHO	
		REV: A	
		REV DATE: 10/6/17	

This drawing contains confidential information that is the property of MacLean Power, L.L.C. ("MacLean"). Use of MacLean's confidential information without MacLean's express written consent is strictly prohibited and may expose you to legal liability. If you believe that you received this material in error, please destroy it or return it to "MacLean Power, L.L.C., 481 MUNN ROAD SUITE 300, FORT MILL, SC 29715, USA."

MacLean HIGHLINE
2300 HIGHWAY 11 NORTH, SWEETWATER, TN, 37874
TEL. (803) 628-4380



SLEEVING/CONDUIT LEGEND

- 6" SLEEVES (SCH 40)
- 4" SLEEVES (SCH 40)
- (3) 4" CONDUIT TERMINATING IN PULLBOX (SCH 40)

ENGINEER:
FORESITE
 group
 Foresite Group, LLC
 2740 Dearth Ct.
 Suite 300
 Peachtree Corners, GA 30092
 P 770.368.1300
 F 770.368.1944
 www.foresitegroup.com

DEVELOPER:
 HOLLY SPRINGS DOWNTOWN DEVELOPMENT AUTHORITY /
 CITY OF HOLLY SPRINGS
 3257 HOLLY SPRINGS PARKWAY
 GANTON, GA 30145
 (770) 345-8833
 ROB LOGAN

PROJECT:
**HOLLY SPRINGS TOWN CENTER
 HARDSCAPE & LANDSCAPE**
 CONSTRUCTION DOCUMENTS
 LL# 308 & 343, 15TH DISTRICT, TAX ID# 15-004-0002
 PARCEL #150345-0002 <comment>

REVISIONS
 DATE
 03/17/2022
 PROJECT MANAGER: JMB
 DRAWING BY: BK
 JURISDICTION: HOLLY SPRINGS, GA
 DATE: 09/03/2023
 SCALE: 1" = 40'
 TITLE:

OVERALL HARDSCAPE PLAN
 SHEET NUMBER:
H1.0
 COMMENTS: NOT RELEASED FOR CONSTRUCTION
 JOBFILE NUMBER: 1362.001

GENERAL CONTRACTOR AGREEMENT

Contract # 005 2023

This General Contractor Agreement ("**Agreement**") is entered into this 19th day of June 2023 (the "**Effective Date**") by and between Stonecrest Homes GA, LLC, a Georgia limited liability company ("**Contractor**"), and the City of Holly Springs and the Downtown Development Authority of Holly Springs (collectively, "**Owner**"), whose Train Depot address is 164 Hickory Road; Holly Springs, GA 30115 (the "**Property**").

For and in consideration of the mutual promises, rights and obligations set forth below, Owner (collectively and singularly "**You**" and "**Your**") and Contractor hereby agree as follows:

Contractor shall furnish the material, labor, equipment, tools, and supervision necessary for the renovations and improvements on the Property (the "**Project**") in compliance with the plans and specifications agreed to by Owner (the "**Plans**"), which Plans form a part of this Agreement and are attached hereto and incorporated herein by reference.

1. COST - PLUS GENERAL CONTRACT AGREEMENT. You acknowledge and agree to the following:

A. You will pay Contractor a sum equal to Contractor's actual costs of the Project, plus a project management and supervision fee ("**Management & Supervision Fee**") as follows:

B. The Management & Supervision Fee is calculated at 20% gross margin of cost, or cost times .25. This fee shall be payable as costs are incurred and documented in a monthly invoice and draw request.

C. The Project costs consisting of actual invoices from Contractor's vendors and sub-contractors and any other receipts documenting expenses for this project will be sent to the Owner on draw requests on a monthly basis for reimbursement, due upon receipt.

OWNER INITIALS: _____

CONTRACTOR INITIALS: _____

2. CHANGES TO THE PROJECT OR COSTS. No changes to the Project's Plans are permitted without Contractor's written agreement and if agreed, shall be subject to the terms of this Agreement and become a part of the Project. If You request a change, it is important that You make a timely request to permit such change to be scheduled and implemented with minimum interruption and cost. Any changes to the Project that are agreed upon by Owner and Contractor shall be contained in a written change order ("**Change Order**") signed by the parties. Any Change Order shall be deemed a part of this Agreement and incorporated herein by reference. You agree that the cost to complete the Project may increase due to: (a) changes to the Project requested by You and agreed upon by Contractor; (b) changes in applicable building codes after the date of commencement; and/or (c) concealed or unexpected conditions (including without limitation, the existence of mold, lead, asbestos, inadequate structural support, or damage to the existing structure including termites or rot) which could not be observed by Contractor prior to the commencement of the Project. If a concealed or unexpected condition is discovered, Contractor shall give notice to You, and Contractor will prepare a Change Order that will include an estimate of the anticipated increase in cost to complete the Project. Although not typical, upon notice Contractor may charge for out of pocket and other preparation costs for estimates should estimate requests become excessive and/or require additional engineering, plans, and/or specifications beyond our typical scope of work.

Notwithstanding any of the above, for any change in the Project performed by Contractor, Contractor shall be reimbursed for all labor and material expenses and a reasonable profit and overhead for any work performed on the Property In accordance with a written Change Order or, if no written Change Order, as invoiced.

3. CONCERNS INHERENT WITH REMODELING PROJECTS. You acknowledge and agree to the following:

A. Material matching and usage. Contractor will use reasonable efforts to match old and new materials and to repair damage to existing materials where the materials are joined. However, the point of connection or patched area may be detectable. Contractor shall have no liability or responsibility to make the old and new materials look identical or make the joint become imperceptible. Contractor is not responsible, and Owner holds Contractor harmless for irritants, vapors, odors, or fumes from any material and/or product used in the Project and for any claims regarding environmental, health, safety or other claims arising from Contractor's work on the Project.

B. Property Damage. Contractor will use reasonable efforts to minimize damage to existing improvements, including, without limitation, driveways, hardscaping, exterior lighting, sprinkler systems, lawns, plants, flowers, and any other existing improvements. Contractor shall not be responsible and shall not be held liable for cosmetic, incidental, or consequential damages to any of Your property, curbs, sidewalks, or any property which was not installed by Contractor. Contractor will repair damage related to interior sheetrock or exterior walls only as arising from activities of Contractor. You shall be responsible for removing or protecting personal property, furniture, landscaping, sprinkler systems, or other items in the vicinity of the Project. Contractor shall maintain liability insurance insuring Contractor for any damages to Your Property caused by Contractor or anyone on owner's premises at invitation of Contractor.

C. Assumption of Risk & Disturbance. During construction, the property may not be safe for non-construction personnel. You assume all risks for Yourself, your family members, invitees, agents, and guests, including without limitation, personal injury from, relating to or associated with, the Project or Contractor's performance, except for gross negligence or intentional willful injury. Loud noise, dust, dirt, and general commotion can be expected during construction. These conditions may exist from 7:00 AM to 7:00 PM Monday through Friday and from 9:00 AM to 7:00 PM on Saturday. You will be solely responsible for addressing any concerns of any owners' associations or adjacent/nearby residents.

D. On-Site Utilities. Unless otherwise agreed in writing, Contractor shall use the utility services (water, sewer, electricity) within the Project without charge to Contractor. At times during the Project, HVAC use may be required to acclimate materials (including flooring, cabinetry, and adhesives) for installation or to minimize temperature and humidity fluctuations which may impact installation, maintenance, or warranties.

E. Advertising. You authorize and grant Contractor permission to display its business sign (subject to applicable ordinances) in a place visible to the public until completion of the Project and to take pictures or videos before, during and after the Project for use in award submissions, advertising, promotional material, social media or displays. Contractor shall have all publication rights to photographs, videos, images, quotes, and other matters with regard to the Project.

F. Exclusions. Unless specifically included in the Specifications, the Project excludes: changing electrical service or repairing electrical equipment that is in violation of the applicable electrical or building codes, painting the interior and exterior of the existing residence, and the identification, detection, abatement, encapsulation, handling or removal of any hazardous materials or substances as defined by the EPA.

4. INSURANCE REQUIREMENTS/RISK OF LOSS. Contractor maintains workers compensation insurance and general liability insurance in accordance with state licensing laws. You are responsible for all other insurable risks, including, without limitation, property, casualty, and theft insurance in an amount necessary to cover the improvements to the Property and the contents of Your property. You bear the risk of loss for all materials incorporated into the structure or stored on the job site.

5. YOUR REPRESENTATIONS and RESPONSIBILITIES. You represent and warrant as follows:

A. Ownership. You represent and warrant that the persons identified as the Owner(s) are complete and accurate and represent the current ownership interest of the Property.

B. Access. You shall provide Contractor and all employees, subcontractors, and suppliers of Contractor with adequate access to the Project as required by Contractor to perform this Agreement.

C. Association Approval. You are responsible for obtaining all approvals required by any architectural control committee or property owners' association.

D. Survey, Permits, Easements and Zoning. You are responsible for obtaining any reasonably necessary boundary surveys, site plans, foundation surveys, or final surveys as may be required by local building officials or any committee or owners' association. You are responsible for securing and paying for any approvals, permits, easements, variances, zoning changes, modifications to restrictive covenants, or other similar matters as may be required by local building officials or any owner's association prior to commencement of the Project. Every project is permitted by Contractor with the local building authority, when required.

E. Hazardous Materials. You represent that You are not aware of any hazardous or toxic materials or substances, known pollutants or similar substances as defined by any government agency, including but not limited to, asbestos, polychlorinated biphenyl (PCB) and lead paint, to which Contractor or its workers and trades may be exposed during construction of the Project. In the event that Contractor encounters or believes it has encountered such substances, Contractor shall have the right notwithstanding any other provision of this Agreement, to stop work and remove workers from the area until the nature and remedy for such substances has been determined. If a testing or remedial plan satisfactory to Contractor cannot be agreed upon within a reasonable time, Contractor shall have the right to terminate this Agreement and be compensated for all time expended and materials provided under this Agreement. You indemnify and hold Contractor harmless to the fullest extent from any and all tests, costs, claims, damages, losses, and expenses, including but not limited to attorney's fees and litigation or arbitration expenses, arising out of the presence of or relating to any such substances.

6. SUBCONTRACTORS, EMPLOYEES & SUPPLIERS. Contractor is entitled to select the subcontractors, employees, and suppliers who will work on or provide materials for the Project.

Contractor shall be solely responsible for hiring, firing, and supervising personnel. You shall not give directions or orders to anyone other than Contractor or a designated supervisor. You shall not interfere with personnel and shall not negotiate with or retain any of Contractor's employees or subcontractors without Contractor's prior written consent. You agree to have no other construction work performed on the Project by any other person or entity until Contractor has completed the Project or this Agreement has been terminated. In the event You wrongfully terminate this Agreement or fail to make payment as required, You agree that You shall pay to Contractor its standard profit margin, plus all costs of collections and enforcement, for Your use of any tradesman or subcontractor that was used by Contractor in connection with the Project, if You use, hire or retain such tradesman or subcontractor within two (2) years after the completion or termination of the Project

7. LICENSING. Contractor is a construction company that is licensed by the state of Georgia through Contractor's duly authorized representative ("Qualifying Agent"). In the event of the death or loss of affiliation between Qualifying Agent and Contractor, Contractor shall seek a new Qualifying Agent. If the work to be performed by Contractor under this Agreement has not been completed, Contractor may cease to perform work under this Agreement for such period as may be required to resolve the matter, and such cessation will be considered to be an extension of time under this Agreement and Contractor shall not be liable for any delay. Cessation pursuant to this provision shall not be considered abandonment. Contractor will use commercially reasonable efforts to obtain a new Qualifying Agent or a temporary license if applicable, in order to complete the Project. In the event that Contractor has not obtained a new Qualifying Agent or temporary license within 180 days of the cessation of work, either Contractor or You may terminate this Agreement in writing and Contractor will be paid for time and materials through date of termination.

8. DEFAULT. Contractor shall be in default under this Agreement if Contractor shall abandon work on the Project or, after written notice by You and twenty (20) day opportunity to cure, otherwise refuses to carry out its obligations under this Agreement (unless such abandonment or refusal is based upon Your default). Contractor shall be deemed to have abandoned work if Contractor shall fail to perform any work on the Project for twenty-one (21) consecutive days unless such failure is the result of any force majeure or otherwise excused by this Agreement. You shall be in default under this Agreement if You shall refuse to permit Contractor to complete performance, shall fail to pay any amounts when due, or otherwise refuse to carry out Your obligations under this Agreement. Upon Your default, Contractor may, without terminating this Agreement, suspend all work on the Project. In the event of termination of this Agreement by You as a result of default by Contractor, You shall pay Contractor (1) the amounts due at the time based on the payment schedule for the work completed (including anticipated profit prorated for the work completed); (2) any amounts due in any Change Order; and (3) all expenses incurred by Contractor in connection with the Project that are not otherwise covered under this subparagraph. In the event of termination of this Agreement by Contractor as a result of Your default or otherwise, you shall pay to Contractor all of the amounts to be paid to Contractor as set forth in the preceding sentence, plus any profit Contractor would have earned under the Agreement in the absence of such default.

9. NOTICE REGARDING DEFECTIVE CONSTRUCTION AND REPAIRS: REQUIRED STATE LAW DISCLOSURES REGARDING CONSTRUCTION DEFECTS.

GEORGIA LAW, O.C.G.A. §8-2-35, et. seq. ("THE GEORGIA RIGHT TO REPAIR ACT") CONTAINS IMPORTANT REQUIREMENTS YOU MUST FOLLOW BEFORE YOU MAY FILE A LAWSUIT OR OTHER ACTION FOR DEFECTIVE CONSTRUCTION AGAINST THE CONTRACTOR WHO CONSTRUCTED, IMPROVED, OR REPAIRED YOUR HOME. NINETY

DAYS BEFORE YOU FILE YOUR LAWSUIT OR OTHER ACTION, YOU MUST SERVE ON THE CONTRACTOR A WRITTEN NOTICE OF ANY CONSTRUCTION CONDITIONS YOU ALLEGE ARE DEFECTIVE. UNDER THE LAW, A CONTRACTOR HAS THE OPPORTUNITY TO MAKE AN OFFER TO REPAIR OR PAY FOR THE DEFECTS OR BOTH. YOU ARE NOT OBLIGATED TO ACCEPT ANY OFFER MADE BY A CONTRACTOR. THERE ARE STRICT DEADLINES AND PROCEDURES UNDER STATE LAW, AND FAILURE TO FOLLOW THEM MAY AFFECT YOUR ABILITY TO FILE A LAWSUIT OR OTHER ACTION.

10. DISPUTE RESOLUTION PROVISIONS

A. Should Owner make any claims or have any dispute with the Contractor pursuant to this Agreement, arising out of the construction of the Property herein or concerning the Property, including but not limited to, breach of Agreement, breach of warranty, negligence, violation of government codes, fraud, rescission, specific performance and/or any other controversy, Contractor shall have the absolute right but not the obligation to choose any of the following options to remedy the issue within a reasonable time prior to the claim being submitted for Binding Arbitration:

(i) repair any disputed claim or work within a reasonable time after receiving written notice of the issue; or,

(ii) Compromise and settle the claim by monetary payment or a combination of repair, compromise and/or settlement with Owner; or

B. IF CONTRACTOR DOES NOT CHOOSE OPTION 9.A (i) or (ii), OR IF OWNER REJECTS CONTRACTOR'S OFFER UNDER 9.A. (ii) AND THE PARTIES ARE UNABLE TO RESOLVE THE DISPUTE AFTER FULLY COMPLYING WITH THE GEORGIA RIGHT TO REPAIR ACT (O.C.G.A. § 18-2-35 *et seq.*), THE PARTIES SHALL SUBMIT THE DISPUTE TO BINDING ARBITRATION ACCORDING TO THE TERMS SET FORTH HEREIN:

THE ARBITRATOR SHALL BE SELECTED PURSUANT TO THE PROCEDURES AND GUIDELINES OF THE AMERICAN ARBITRATION ASSOCIATION; PROVIDED, HOWEVER, ANY ARBITRATOR SO SELECTED SHALL BE EXPERIENCED WITH RESIDENTIAL REAL ESTATE DEVELOPMENT AND CONSTRUCTION. THE ARBITRATION SHALL TAKE PLACE IN THE COUNTY WHERE THE PROPERTY IS LOCATED, AT SUCH PLACE AND ON SUCH DATES AS DIRECTED BY THE ARBITRATOR. THE ARBITRATOR SHALL HAVE THE AUTHORITY TO GRANT REASONABLE DISCOVERY RIGHTS TO THE PARTIES. UPON REQUEST OF EITHER PARTY, THE ARBITRATOR SHALL ISSUE WRITTEN FINDINGS AND CONCLUSIONS. THE DECISION OF THE ARBITRATOR SHALL BE BINDING ON BOTH PARTIES AND ENFORCEABLE IN A COURT OF COMPETENT JURISDICTION. IF OWNER REFUSES TO SUBMIT ANY DISPUTE FOR RESOLUTION BY ARBITRATION AFTER RECEIPT OF NOTICE FROM CONTRACTOR, AND CONTRACTOR IS REQUIRED TO SEEK TO ENFORCE THIS AGREEMENT AFTER RECEIPT OF NOTICE FROM CONTRACTOR, AND CONTRACTOR IS REQUIRED TO SEEK TO ENFORCE THIS AGREEMENT TO ARBITRATE, THEN OWNER SHALL BE LIABLE FOR THE ATTORNEYS' FEES, COSTS AND EXPENSES INCURRED BY CONTRACTOR IN ENFORCING THIS AGREEMENT TO ARBITRATE. NO ARBITRATION ARISING OUT OF OR RELATING TO THIS AGREEMENT SHALL INCLUDE, BY CONSOLIDATION OR ANY OTHER MANNER, PARTIES OTHER THAN OWNER, CONTRACTOR, AND CONTRACTOR'S

CONTRACTORS; PROVIDED THAT ANY OF CONTRACTOR'S CONTRACTORS MAY ONLY BE JOINED WITH THE WRITTEN CONSENT OF THE CONTRACTOR. THIS ARBITRATION CLAUSE HAS BEEN INITIALED BY OWNER AND CONTRACTOR AT THE TIME OF EXECUTION OF THIS AGREEMENT PURSUANT TO GEORGIA CODE § 9-9-1 *et seq.*, SPECIFICALLY SECTION 9-9-2 (AS AMENDED). AS EVIDENCED BY OWNER'S INITIALS APPEARING IN THE SPACE BELOW, OWNER CERTIFIES THAT OWNER HAS READ AND UNDERSTANDS THIS SECTION IN ITS ENTIRETY, AND THAT OWNER UNDERSTANDS AND AGREES THAT, AS AN INDUCEMENT TO CONTRACTOR TO ENTER INTO THIS AGREEMENT AND OWNER ACCEPTING THE BENEFITS HEREOF, OWNER HAS KNOWINGLY AND WILLINGLY LIMITED ITS REMEDIES FOR BREACH OF THIS AGREEMENT BY CONTRACTOR TO THE TERMS, CONDITIONS AND OTHER PROVISIONS EXPRESSLY SET FORTH IN THIS SECTION.

OWNER INITIALS: _____

CONTRACTOR INITIALS: _____

C. TIME LIMITS FOR ASSERTING DISPUTES. Except as may be specifically provided otherwise by law, in no event shall any Dispute (other than for non-payment of an amount due Contractor) be asserted more than one (1) year after Project completion, or six (6) months after the end of any warranty period if the Dispute relates to a warranty matter.

11. MISCELLANEOUS PROVISIONS

A. PHOTOS: You grant to Contractor the right to use, publish and/or copyright photographic, reproduction and digital likeness of the Property for advertisement, publicity, or any other reasonable commercial purpose whatsoever.

B. SURVIVAL. This Agreement shall be binding upon, and shall benefit, Contractor and Owner and their respective heirs, legal representatives, executors, administrators, successors and permitted assigns.

C. SEVERABILITY. If any provision of this Agreement is determined to be invalid under applicable law, such provision shall be severable from each and every other provision but shall not invalidate the remainder of the provisions of this Agreement which shall remain valid and enforceable.

D. NO ORAL AGREEMENTS. Owner acknowledges that the only agreement between Contractor and Owner is specifically written in this Agreement. There are no other agreements or understandings. Any amendments or modification to this Agreement may only occur in writing signed by Owner and Contractor.

E. TIME OF ESSENCE. Time is of the essence of this Agreement and in all aspects of this Agreement.

F. CONSTRUCTION; BUSINESS DAYS. Any rule of construction that a document should be most strictly construed against the party that drafted the document shall not be applied to the interpretation of this Agreement. If any date, time period or deadline in this Agreement falls on a Saturday, Sunday, or legal holiday, then such last day shall be extended to the next succeeding business day.

G. GOVERNING LAW. This Agreement shall be construed in accordance with the laws of the state of Georgia.

H. **LEGAL CONSEQUENCES.** This Agreement has legal consequences. If Owner does not understand any provision of this Agreement, Contractor encourages Owner to consult an attorney. This Agreement shall become binding and enforceable upon the signature of both Owner and Contractor.

I. **NOTICE.** All notice required under this Agreement shall be in writing to the address (whether a physical address or electronic mail address) herein provided and delivered by one of the following methods: (1) in person; (2) by overnight delivery service prepaid; or (3) by electronic mail when directed to the electronic mail address provided by Contractor and Owner below. Such notice shall be deemed delivered at the time of personal delivery or, if mailed, when it is deposited as provided above, or, if electronically mailed, on the date said electronic mail was directed to the addressee.

12. EXHIBITS, AMENDMENTS. Any and all exhibits, amendments, change orders and/or riders to this Agreement shall be in writing and signed by the parties, and shall be deemed a part of this Agreement upon signature. The exhibits to this Agreement are as follows:

Exhibit A: Cost Estimate

Exhibit B: Floor Plan

Having read this Agreement, we certify that we fully understand it and agree to be bound by its terms.

CITY OF HOLLY SPRINGS

P.O. Box 990
Holly Springs, GA 30142

Steven W. Miller, Mayor

Signature

Karen Norred, City Clerk

Attest

DOWNTOWN DEVELOPMENT AUTHORITY OF HOLLY SPRINGS

P.O. Box 990
Holly Springs, GA 30142

Ollie Evans, Chairman

Signature

Andrea Johnston, Secretary

Attest

STONECREST HOMES GA, LLC

Charles D. Heiser, Jr., Manager
Stonecrest Homes GA, LLC
625 West Crossville Road, Suite 204
Roswell, GA 30075
678-426-5300 office
678-426-5307 fax
314-303-4994 cell
cheiserjr@stonecresthomesga.com

Revised: 05/18/2023
City of Holly Springs - Train Depot Windows & Doors
164 Hickory Rd
Canton, GA 30114

City of Holly Springs - Train Depot Windows & Doors
164 Hickory Rd
Canton, GA 30114

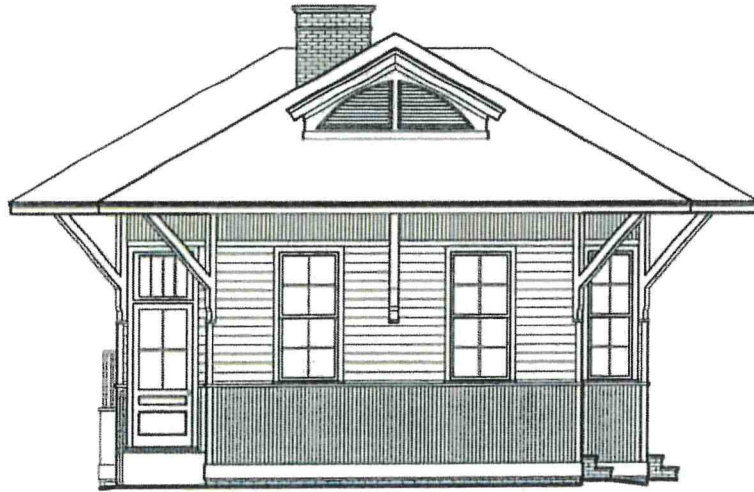
164 Hickory Rd Canton, GA 30114

Canton, GA 30114

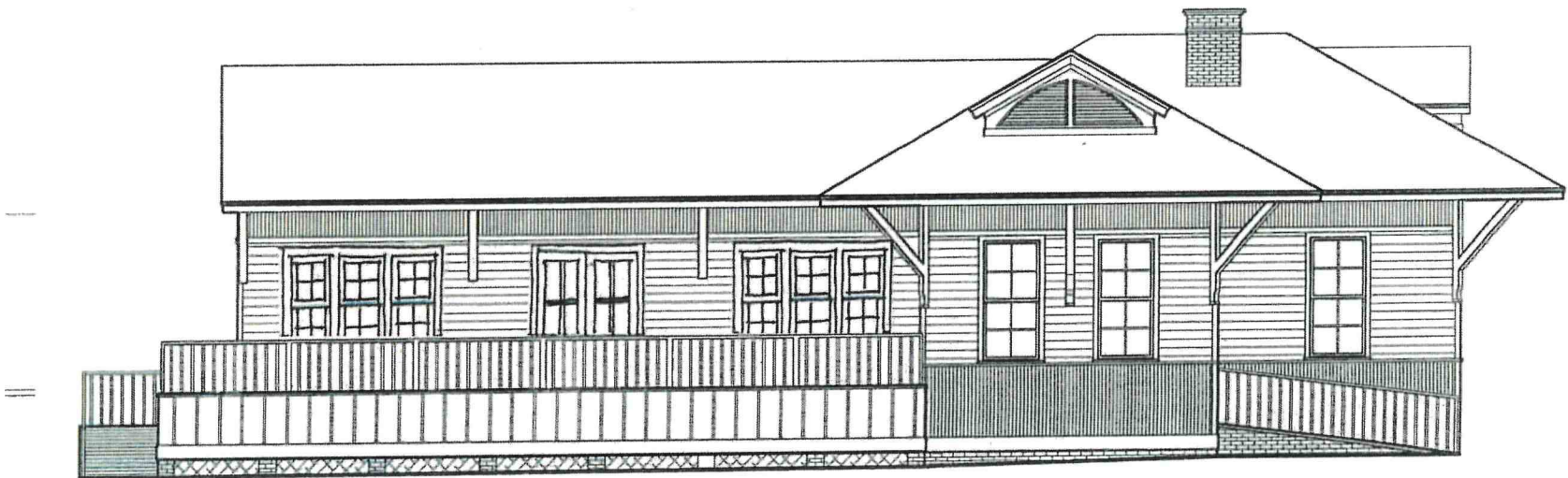
Activity		Train Depot	Paid						Total
		Windows & Doors	Draw 1	Draw 2	Draw 3	Draw 4	Draw 5	Draw 6	Actual
Dumpster	Double D	\$ 400							\$ -
Demo	BV Lumber	\$ 2,500							\$ -
Siding Repairs	Accurite	\$ 2,500							\$ -
Framing	BV Lumber	\$ 2,750							\$ -
Windows & Doors	BV Lumber	\$ 24,950							\$ -
Windows & Doors Install	On the Level	\$ 2,250							\$ -
Paint Exterior	Accurite	\$ 8,000							\$ -
Variance @ 5%	TBD	\$ 2,168							\$ -
Super, OH & Profit @ 20% GM of Cost	SHA	\$ 11,379							\$ -
Total Job Cost		\$ 56,897	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

TRAIN DEPOT |

EXHIBIT B

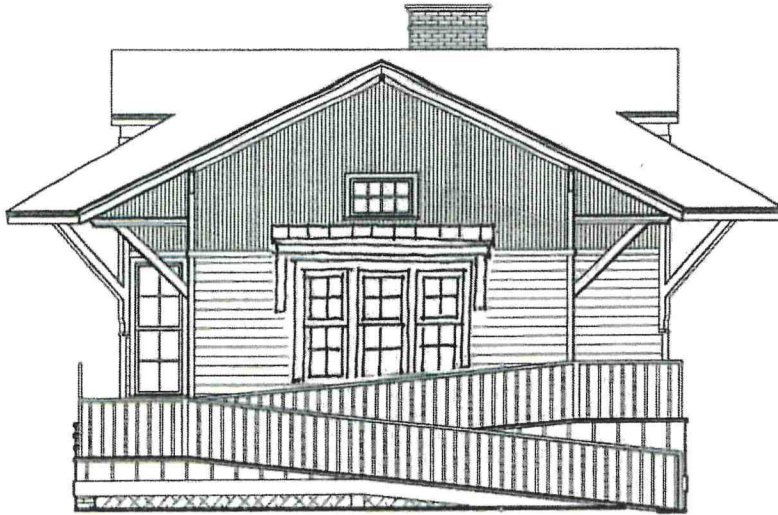


AS - BUILT
FRONT ELEVATION
1
A2 SCALE 1/4" = 1'-0"

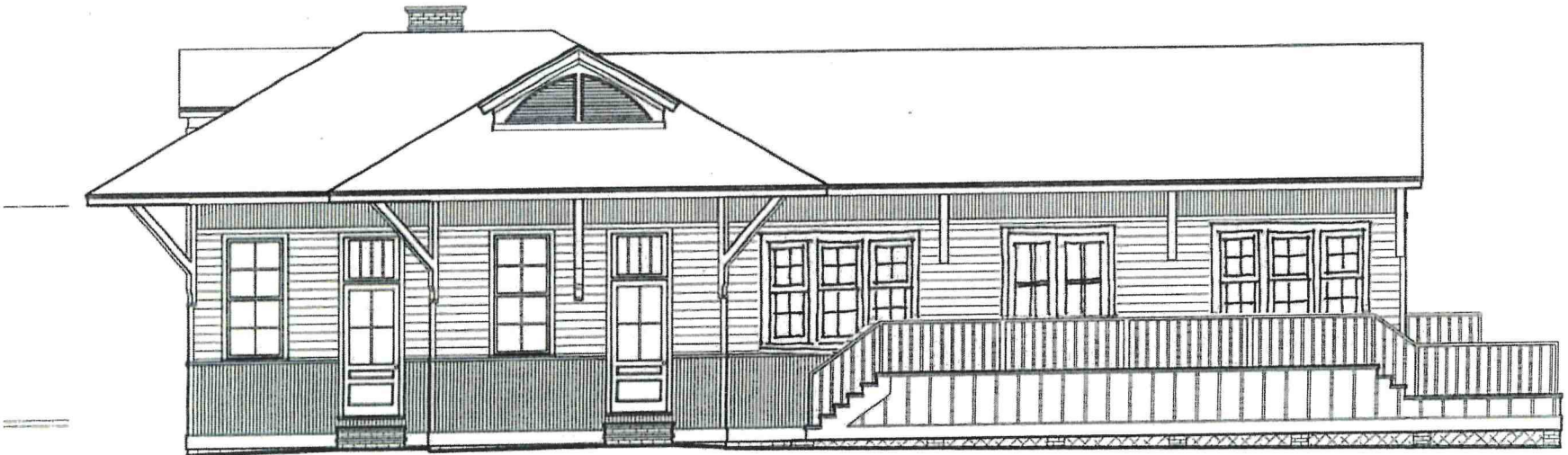


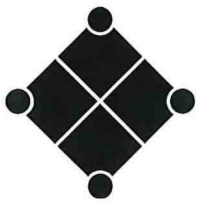
TRAIN DEPOT |

EXHIBIT B



AS - BUILT
REAR ELEVATION
1
A3 SCALE: 1/4" = 1'-0"





CHEROKEE COUNTY CHAMBER OF COMMERCE

connecting • creating • cultivating

Cherokee County Chamber of Commerce
P.O. Box 4998
Canton GA 30114-0030

INVOICE

Phone: 770-345-0400
Fax: 770-345-0030
Website: <https://www.cherokeechamber.com>
Email: vicky@cherokeechamber.com

Holly Springs Downtown Development Authority
Kevin Moore
P.O. Box 990
Holly Springs GA 30142

Date: 04/01/2023
Invoice #: 51669
Due: 05/01/2023
Member #: 8478

Description	Quantity	Rate	Amount
Annual Membership Investment	1	\$305.00	\$305.00
Sub Total:			\$305.00
Balance:			\$305.00

A FRIENDLY REMINDER
Please Renew Your Chamber
Membership Today.
Thank You!

Chamber of Commerce membership dues may be tax deductible as an ordinary and necessary business expense. Dues paid to the Chamber are not a charitable tax deduction for federal income tax purposes. The Chamber is not a charity: it is an advocate for area businesses.

Keep this portion for your records.

Please return this portion with your payment.

Holly Springs Downtown Development Authority
Kevin Moore
P.O. Box 990
Holly Springs GA 30142

Date: 04/01/2023
Invoice #: 51669
Due: 05/01/2023
Member #: 8478

Cherokee County Chamber of Commerce
P.O. Box 4998
Canton GA 30114-0030

Amount Due: **\$305.00**



STAFF ANALYSIS

FROM: Nancy Moon

SUBJECT: CA-01-2023, applicant requests Certificate of Appropriateness for a dental office located 2720 Holly Springs Parkway, Holly Springs, GA, tax parcel 061A of tax plat 93N00

DATE: June 15, 2023

DOWNTOWN DEVELOPMENT AUTHORITY MEETING DATE: June 21, 2023

BACKGROUND FOR DDA RECOMMENDATION

The proposed project is located within the Town Center District, an area that encompasses more than the area that is currently under construction by the City. Specifically, the project is located at 2720 Holly Springs Parkway, tax parcel 061A of tax plat 93N00. New developments and redevelopments require review by the DDA. The Town Center district permits mixed-use developments with review by staff and the DDA; however, single-use developments are required to comply with the underlying zoning, as well. The proposed development consists of only one use—dental office. The property is zoned GC, General Commercial and the dental office is a permitted use. However, the structure requires review by the DDA. The DDA recommendation should be based on how appropriate the architecture and overall development conform to the goals/design of the Town Center district. Attached are elevations and color renderings of the proposed structure.

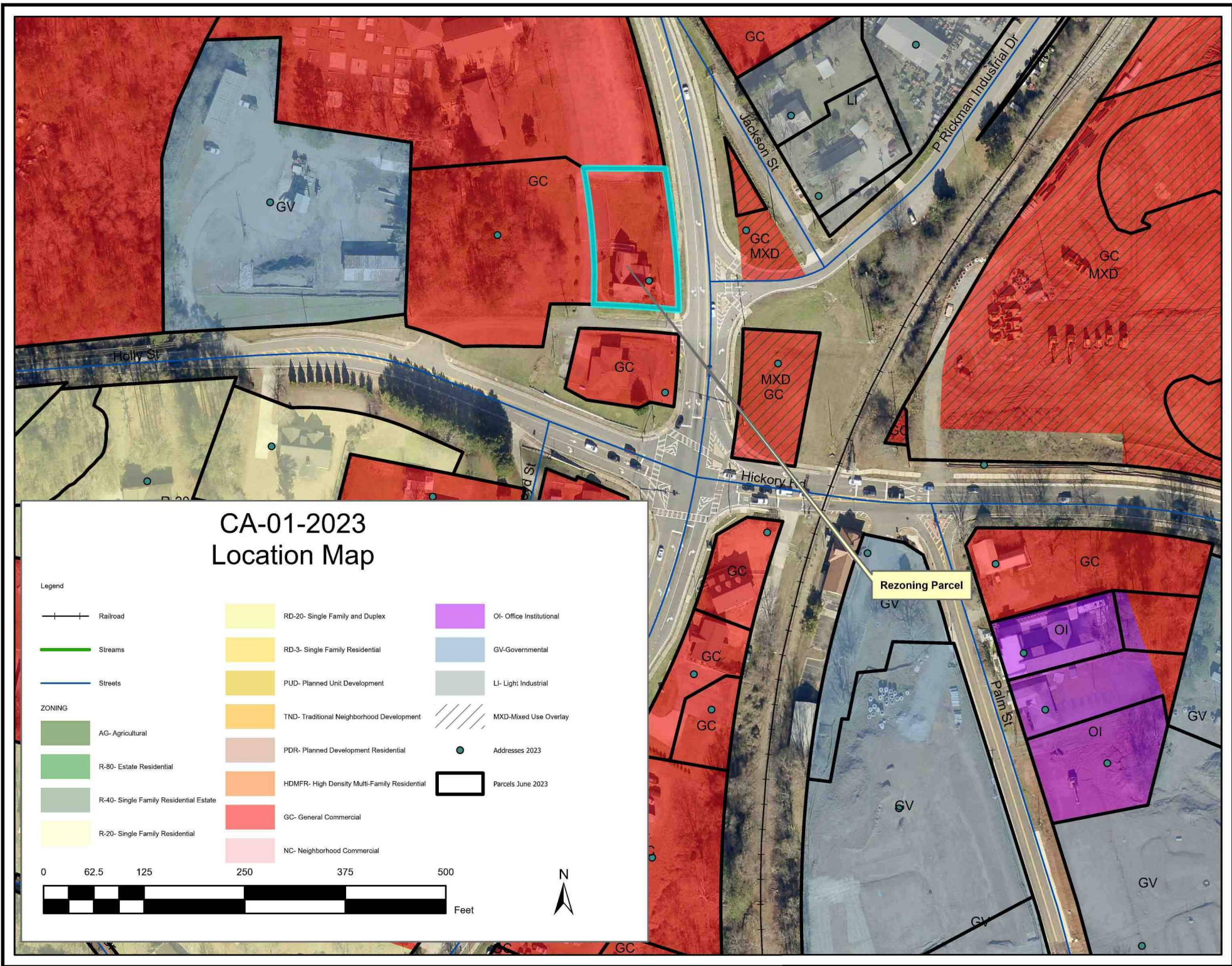
STAFF ANALYSIS

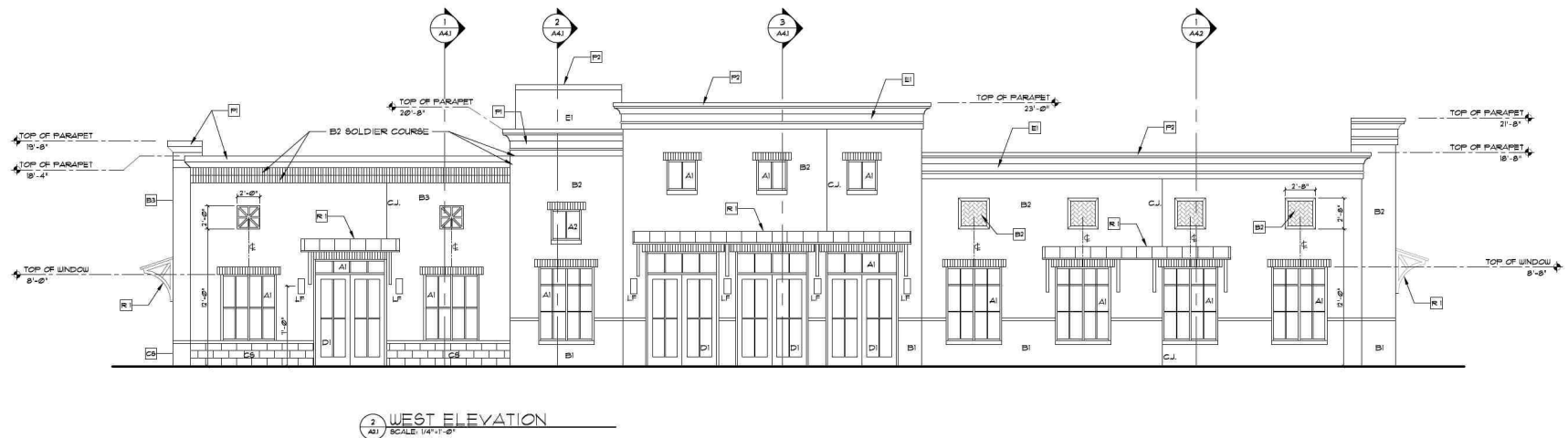
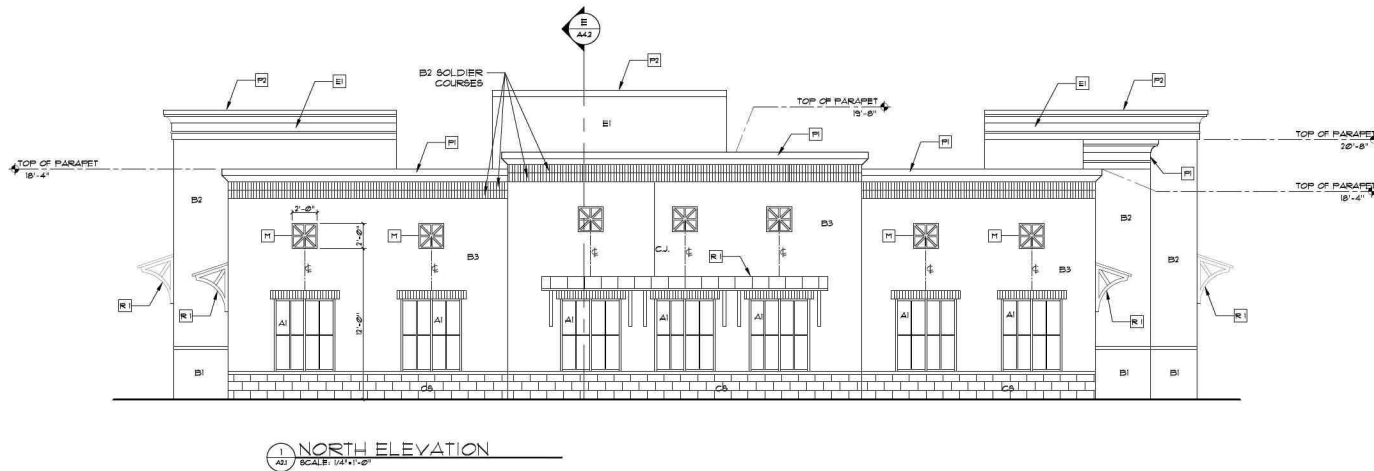
A. Town Center Architect Approval

Projects located within the Town Center district have different architectural requirements and, in addition to review by DDA, are reviewed by the Town Center Architect. The proposed elevations were sent to the architect and his approval letter is included within the packet.

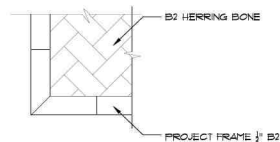
B. Staff Recommendation

Staff recommends **APPROVAL** of the **Certificate of Appropriateness**.





NOTE: CLEAN ALL BRICK AND STONE WITH APPROVED SOLUTIONS BY THE MANUFACTURERS.



ELEVATION KEY LEGEND

- | | |
|--|--|
| [B1] BRICK VENEER - GENERAL SHALE - SCOTTSDALE, QUEEN, RUNNING BOND | [P1] PARAPET PROJECTION - PRE-FIN ACM PANELS
COLOR: DARK BRONZE |
| [B2] BRICK VENEER - TRIANGLE BRICK - CAPE FEAR, QUEEN, RUNNING BOND | [P2] PARAPET CAP - PRE-FIN ALUMINUM
COLOR: DARK BRONZE |
| [B3] BRICK VENEER - TRIANGLE BRICK - NORTH HAMPTON, QUEEN, FLEMISH BOND | [R1] STANDING SEAM METAL ROOF
COLOR: DARK BRONZE |
| [C1] CAST STONE - ANTRACITE-RED T88-8X24X4 LESTONE GEORGIA RENAISSANCE
CHISELED FACE | [B15] FINE FINISH - COLOR TO MATCH CAST STONE |
| [A1] ALUMINUM STOREFRONT - BASIS OF DESIGN: KAUNEER TRIFAB VERSAGLATE 48/48/48
(OTHER ACCEPTABLE MANUFACTURES: YKK AND OLCACASTLE BUILDING ENVELOPE)
COLOR: BLACK ANODIZED-GLASS-BOLINGHAM 10 ON SOL-ANERONCE-LIGHT REFLECTANCE 8% | [M] MEDALLION-PINE APPLE GROVE - PRE: CAST 24"X24" - CROSS+ JACK 254
COLOR: BEACH STONE |
| [A2] ALUMINUM STOREFRONT - BASIS OF DESIGN: KAUNEER TRIFAB VERSAGLATE 48/48/48
(OTHER ACCEPTABLE MANUFACTURES: YKK AND OLCACASTLE BUILDING ENVELOPE)
COLOR: BLACK ANODIZED- SPANDREL GLASS- CAPELOT GRAY - VITRO | |
| [D1] ALUMINUM STOREFRONT DOOR - BASIS OF DESIGN: KAUNEER 36/36/36/36 INSULCLAD
(OTHER ACCEPTABLE MANUFACTURES: YKK AND OLCACASTLE BUILDING ENVELOPE)
COLOR: BLACK ANODIZED | |
| ALL MORTAR TO BE ANTIQUE LIMESTONE | |

C.J. - CONTROL JOINT
L.F. - LIGHT FIXTURE

NOTE: PROVIDE SAMPLES FOR OWNERS APPROVAL

NOTE: ERECT FREE STANDING WALL 6' WIDE X 6' TALL INCORPORATING ALL BRICK AND STONE FOR OWNERS APPROVAL

THESE DRAWINGS ARE THE PROPERTY OF
DANARDO ARCHITECTS, P.C. AND ARE NOT
TO BE REPRODUCED OR TRANSMITTED IN
ANY FORM OR BY ANY MEANS, ELECTRONIC
OR MECHANICAL, INCLUDING PHOTOCOPYING,
RECORDING, OR BY ANY INFORMATION
SYSTEMS WITHOUT THE WRITTEN
PERMISSION OF DANARDO ARCHITECTS, P.C.

DATE	REVISION
10/1/2023	1
10/1/2023	2
10/1/2023	3
10/1/2023	4
10/1/2023	5
10/1/2023	6
10/1/2023	7
10/1/2023	8
10/1/2023	9
10/1/2023	10

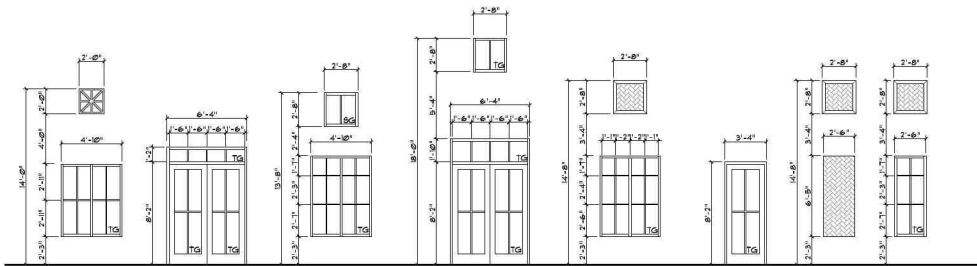
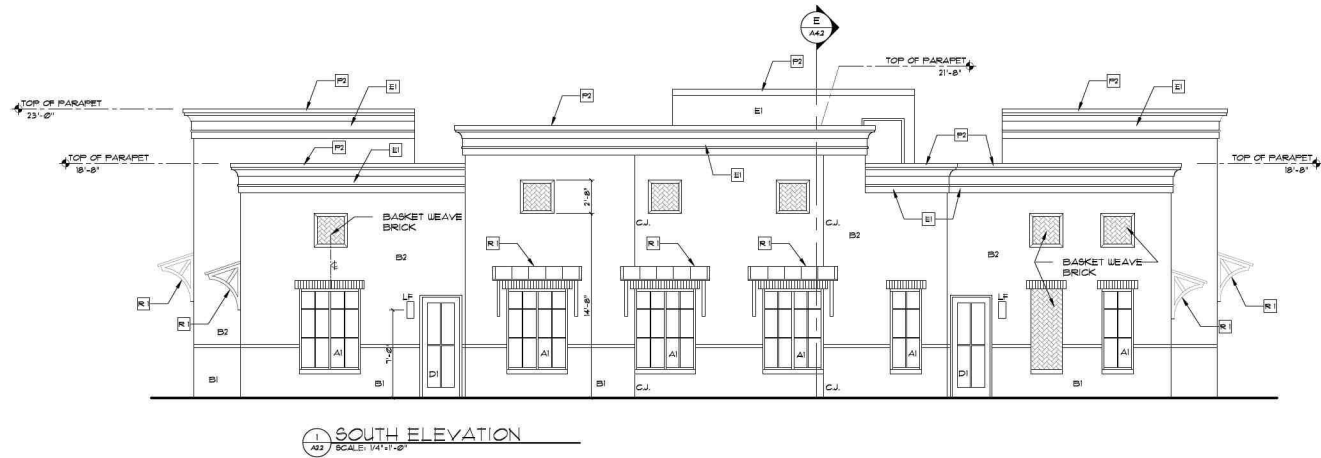
CHEROKEE FAMILY DENTAL
2120 HOLLY SPRINGS PARKWAY
CANTON, GA 30115

DANARDO
ARCHITECTS, P.C.
295 OLIVER STREET SOUTH
LAWRENCEVILLE, GA 30046
770.866.1031

DATE: 3/21/2023
DRAWN: E.A.
CHECKED: S.A.
PROJECT: 38922-H

NORTH/WEST
ELEVATIONS

A2.1



EXTERIOR WINDOW ELEVATIONS

NOTE: MILLIONS TO BE 1-1/4" X 3/8" METAL APPLIED TO BOTH EXTERIOR AND INTERIOR SURFACES OF GLASS.
T1= TEMPERED GLASS
BQ= SPANDREL GLASS

REFER TO SHEET A2.1 FOR EXTERIOR FINISH LEGEND

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ISSUE RECORD
DATE
REVISION
DATE

DRAWING REVISION
DATE
REVISION
DATE

CHEROKEE FAMILY DENTAL
2720 HOLLY SPRINGS PARKWAY
CANTON, GA 30115

ANARDO
ARCHITECTS, P.C.
285 OLIVER STREET, SUITE C
LAWRENCEVILLE, GA 30046

date: 3/21/2023
drawn: EA
checked: BZ
project: 2622-19

SOUTH/EAST
ELEVATIONS

A2.2



1 NORTH ELEVATION
A21 / N.T.S.



2 WEST ELEVATION
A21 / N.T.S.

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DATE	REVISION

DATE	REVISION

CHEROKEE FAMILY DENTAL
2720 HOLLY SPRINGS PARKWAY
CANTON, GA 30115

ANARDO
ARCHITECTS, P.C.
295 OLIVER STREET, SOUTH
LAWRENCEVILLE, GA 30046
770.866.1021



date 5/17/2023
drawn EA
checked SZ
proj# 2022-18

NORTH & WEST
COLOR
ELEVATIONS

A2.1



1 SOUTH ELEVATION
A2.2 N.T.S.



2 EAST ELEVATION
A2.2 N.T.S.

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DATE	REVISION	ISSUE RECORD	STATUS

DATE	REVISION	ISSUE RECORD	STATUS

CHEROKEE FAMILY DENTAL
2720 HOLLY SPRINGS PARKWAY
CANTON, GA 30115

J. NARDO ARCHITECTS, P.C.
298 CLAYTON STREET, SUITE C
LAWRENCEVILLE, GA 30046-1031
770.866.1031



date 5/17/2023
drawn SA
checked SZ
proj# 2022-18
SOUTH + EAST
COLOR
ELEVATIONS

A2.2



1 NORTH EAST VIEW
A2.3 N.T.S.



2 SOUTH WEST VIEW
A2.3 N.T.S.

CHEROKEE FAMILY DENTAL
2720 HOLLY SPRINGS PARKWAY
CANTON, GA 30115
P. 404.398.1234
F. 404.398.1235
WWW.CHEROKEEFAMILYDENTAL.COM
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ISSUE RECORD	
date	issue

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no.	date

CHEROKEE FAMILY DENTAL
2720 HOLLY SPRINGS PARKWAY
CANTON, GA 30115

ZANARDO
ARCHITECTS, P.C.
295 OLIVER STREET, SUITE C
LAWRENCEVILLE, GA 30046
P. 404.398.1234
F. 404.398.1235
WWW.ZANARDOARCHITECTS.COM



date 5/11/2023
drawn EA
checked SZ
proj.# 18022-19

3-D
RENDERINGS

A2.3

CALDWELL ♦ CLINE
ARCHITECTS DESIGNERS

ROGER L. CALDWELL, AIA

June 15, 2023

Nancy Moon, AICP
Community Development Director
City of Holly Springs

Dear Nancy,

Based on the revised drawings received for the Cherokee Family Dental building located at 2720 Holly Springs Parkway, I would recommend approval of the buildings as submitted. (See attached documents) In my opinion the exterior elevations for this building are in keeping with the architectural character of the City of Holly Springs downtown area.

Please let me know if you have questions or need any further information regarding this structure.

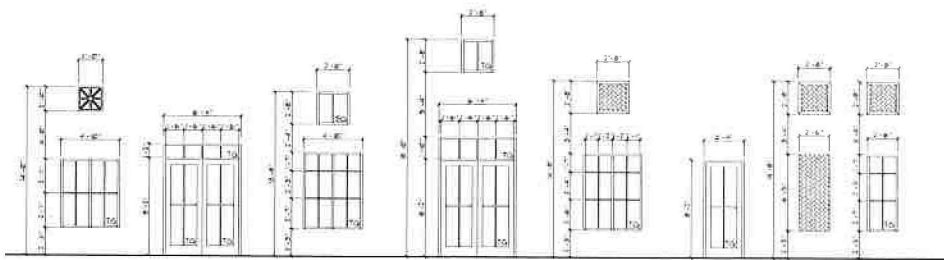
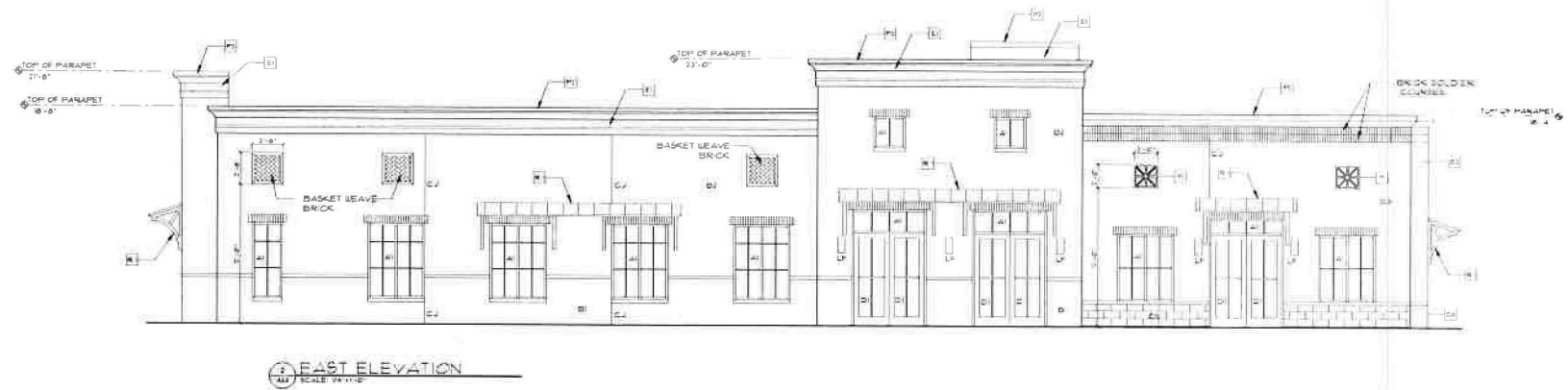
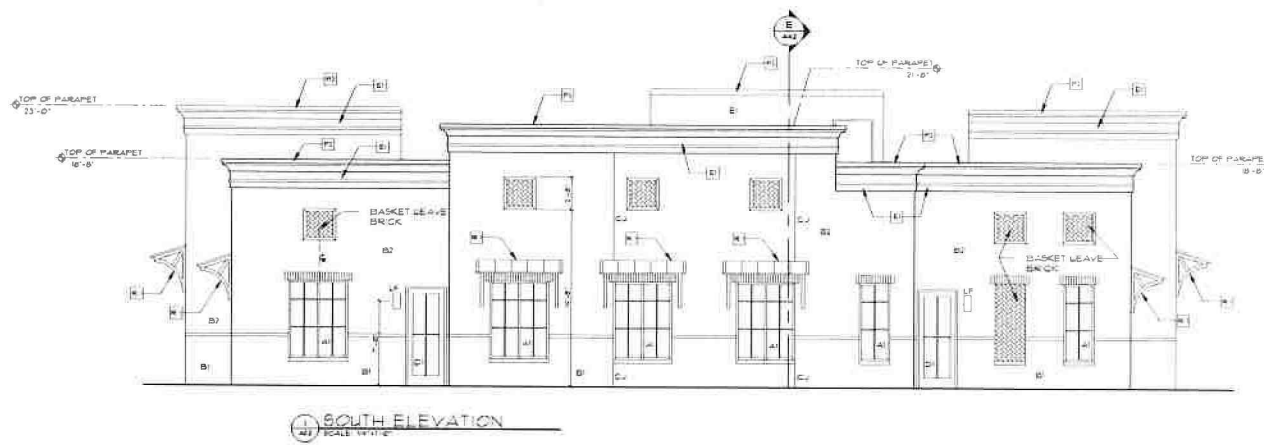
Sincerely,



Roger Caldwell, AIA
Caldwell Cline Architects & Designers

Cc: File

C:/projects/general/hollyspringsapproval061523



EXTERIOR WINDOW ELEVATIONS

NOTE: FILLINGS TO BE 1/4" X 3/8" METAL APPLIED TO BOTH EXTERIOR AND INTERIOR SURFACES OF GLASS
 10: TEMPERED GLASS
 30: SPRING-ROLLED GLASS

REFER TO SHEET A21 FOR EXTERIOR FINISH LEGEND

PROJECT NO. 15-0000
 DATE 10/1/15
 SCALE 1/4" = 1'-0"

DESIGNED BY: J. L. BROWN
 DRAWN BY: J. L. BROWN
 CHECKED BY: J. L. BROWN
 APPROVED BY: J. L. BROWN

PROJECT NO. 15-0000
 DATE 10/1/15
 SCALE 1/4" = 1'-0"

CHICKEN EGG DENZAL
 2100 HOLLY SPRINGS BLVD
 CANTON, GA 30115

ZANARDO, P.C.
 ARCHITECTS
 1000 N. W. 10TH AVE.
 SUITE 100
 MIAMI, FL 33136

1/4" = 1'-0"

10: TEMPERED GLASS
 30: SPRING-ROLLED GLASS

REFER TO SHEET A21 FOR EXTERIOR FINISH LEGEND

A22

Downtown Development Authority of Holly Springs
Meeting Minutes
May 17, 2023

Members Present: Chairman Ollie Evans, Treasurer Maggie Grayeski, Secretary Andrea Johnston, Vice Chair Scott Owen, and Kyle Whitaker.

Members Absent: Abbey Gray and Ryan Smith.

Staff Present: City Manager Robert H. Logan, Communications & External Affairs Director Erin Honea, and Lt. Sam Rentz.

Ollie Evans called the meeting to order.

Maggie Grayeski made a motion to approve an Overhead Distribution Construction Agreement between Georgia Power Company and the Downtown Development Authority of Holly Springs for 136 Palm Street, Holly Springs, Georgia. Scott Owen seconded the motion. Motion carried 5-0.

Scott Owen made a motion to approve Quote/Work Order GP 643M03123, Reference #1399623 from Georgia Power Company in an amount not to exceed \$8,727.15. Maggie Grayeski seconded the motion. Motion carried 5-0.

Scott Owen made a motion to approve an invoice from Georgia Power Company, Work Order GP643M0382, in an amount not to exceed \$7,069.99. Ollie Evans seconded the motion. Motion carried 5-0.

Kyle Whitaker made a motion to approve the Declaration of Covenants, Conditions, Restrictions, and Easements for COHSTC Town Homes West and authorize and ratify the signature of the Chairman. Andrea Johnston seconded the motion. Motion carried 5-0.

Scott Owen made a motion to approve the Holly Springs Depot Color Palette #3. Maggie Grayeski seconded the motion. Motion carried 5-0.

Ollie Evans made a motion to approve the April 19, 2023 meeting minutes. Kyle Whitaker seconded the motion. Motion carried 5-0.

Communications & External Affairs Director Erin Honea announced that the next meeting of the Steering Committee for the City-wide rebranding project would take place at 5:30 p.m. on May 18, 2023 in the Council Chambers. All members of the DDA are invited to attend.

Ollie Evans made a motion to adjourn. Maggie Grayeski seconded the motion. Motion carried 5-0.

Meeting adjourned.

Respectfully Submitted.

Ollie Evans, Chairman

Attest:

Erin Honea, Communications & External Affairs Director

DRAFT



**Main Street Board
Budget To Actual Comparison Report
As of May 31, 2023**

Revenues	May 2023 Transactions	2023 Budget	YTD Transactions	% of Annual Budget
Business & Occupation Licenses	1,545	60,662	60,662	100%
Alcohol Beverage Licenses	-	25,000	-	0.00%
Alcohol Pouring Permits	365	-	2,245	100%
Donations From Private Sources	-	5,000	-	0.00%
Rents and Royalties	-	5,000	-	0.00%
TOTAL REVENUES	\$ 1,910	\$ 95,662	\$ 62,907	65.76%

Expenditures				
Salaries & Wages	4,735	60,551	23,609	38.99%
Employee Benefits - Medical	1,508	18,122	7,542	41.62%
Employee Benefits- Dental	92	1,086	458	42.21%
Employee Benefits-Add Life	12	147	74	50.00%
Employee Benefits-Disability	62	635	366	57.63%
FICA	283	3,816	1,410	36.94%
Medicare	66	892	330	36.95%
Employee Benefits-Retirement	426	5,112	2,130	41.67%
Unemployment	-	38	39	102.00%
Workers Comp Insurance	11	263	289	110.02%
Communications	40	600	366	61.07%
Travel	388	700	388	55.43%
Dues and Fees	334	1,400	1,399	99.92%
Education and Training	-	1,300	650	50.00%
Other Expenditures	-	-	143	100%
Software	-	1,000	-	0.00%
Small Equipment	-	-	2,200	100%
TOTAL EXPENDITURES	\$ 7,956	\$ 95,662	\$ 41,393	43.27%



**Downtown Development Authority
As of May 31, 2023**

Revenues	May 2023 Transactions	2023 Budget	YTD Transactions	% of Annual Budget
Miscellaneous Revenue	-	5,000	-	0.00%
Proceeds from Sale of Property	-	2,300,000	2,000,000	86.96%
TOTAL REVENUES	\$ -	\$ 2,305,000	\$ 2,000,000	86.77%

Expenditures				
Dues & Fees	-	500	-	0.00%
Training	100	250	100	40.00%
Water & Sewer	-	250	-	0.00%
Other Expenditures	-	2,500	-	0.00%
Sponsorships	-	1,500	-	0.00%
Transfers to Primary Government	-	2,300,000	2,000,000	86.96%
TOTAL EXPENDITURES	\$ 100	\$ 2,305,000	\$ 2,000,100	86.77%